



Design & Access Statement

Site of the Former Leper Hospital | Saltisford

Project Team

Prepared for WMHBT and Platform Housing
by Brownhill Hayward Brown Ltd.
Trading as BHB Architects

Document Title : Design & Access Statement

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GREENWOOD PROJECTS

Quantity Surveyor

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1. Introduction

1.1 Structure and Purpose of Statement

This Design and Access Statement has been prepared on behalf of West Midlands Historic Buildings Trust (WMHBT) and Platform Housing Group and is submitted as part of the applications for Planning Permission and Listed Building Consent for works at the site of the Former Leper Hospital, Saltisford. A separate application to Historic England is being made on behalf of WMHBT and Platform for Scheduled Monument consent.

This document should be read alongside all drawings and other documents submitted with the applications. A separate Heritage Assessment has been prepared by The Jessop Consultancy's archaeologist. Together these documents provide an analysis of the context, and the site, and support the proposals as set out in this Design and Access Statement.

The document serves the following functions and purpose:

- To provide a concise description of the key issues and the evaluation that informed the design decisions that have led to the current proposals;
- To provide comprehensive information on the proposals in terms of design, access and landscape.

This document has been structured as set out in the table adjacent in response to:

- The requirement criteria for a Design and Access Statement as set out by the DMPO (2015);
- The 'Design and Access Statements How to write, read and use them' guidance provided by CABE (2008);
- The guidance for recognising well designed places as set out in 'The National Design Guide' (PPG 2019).

1. Introduction	Outlines the vision for the site and sets out the structure and purpose of the statement.
2. Assessment	Considers the site and its surroundings in terms of physical, social and planning context. Identifies opportunities and constraints.
3. Involvement	Outlines the stakeholder consultation undertaken, as well as its key findings and design evolution.
4. Design Proposals	Presentation of design proposals including uses and amount proposed, access arrangements, layout of the development, scale of buildings, landscaping treatments and appearance.
5. Design Appraisal	Appraisal of the proposals against its aims and the ten characteristics identified by The National Design Guide (PPG) as contributing to good design as set out in the National Planning Policy Framework.
6. Summary	Provides a summary of the key features and benefits of the proposals.

1.2 Site Location

The application site is located on a main route into the heart of Warwick Town Centre, just 0.5 miles from the main shopping area. It is bounded to the north by the railway line, and to the south by the A425. The southern half of the site is the site of the former Leper Hospital and is a Scheduled Monument on which the historic buildings of St Michael's Chapel and the Master's House still remain. The northern part of the site is currently vacant and largely overgrown.

The areas immediately to the west and south of the site are mainly residential, with a mix of terraces houses and apartment buildings up to four storeys in height.

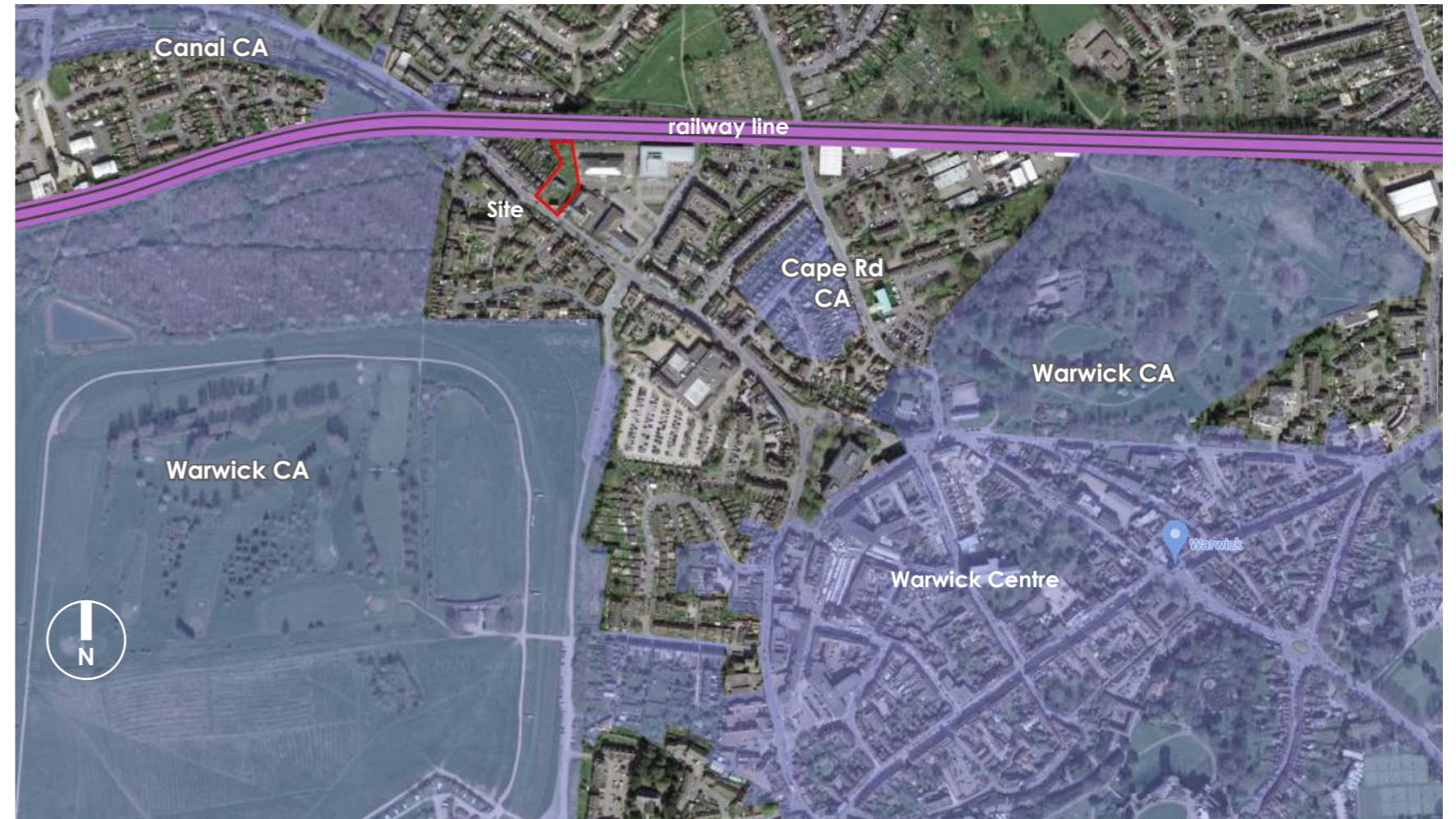
The area to the east of the site is occupied by Warwickshire County Council offices and the Church of Jesus Christ and the Latter-Day Saints which fronts the A425 road.

The site is situated between 3 Conservation Areas; the Warwick Conservation Area, The Canal Conservation Area and the Cape Rd., Victoria St. & Edward St. Conservation Area.

The site benefits from a wide range of services and amenities, including schools, shops, places of worship, restaurants, cafes and theatres. It also benefits from being within walking distance of a number of areas of public open space, including the Diamond Jubilee Woods and Saltisford Common.

The site is also serviced by good transport links, as it is close to both Warwick and Warwick Parkway railway stations, providing direct links to Birmingham, London and Stratford-upon-Avon.

Our proposals are the repair and conversion to residential use of the two historic buildings, St Michael's Chapel and the Master's House. The northern part of the site will provide additional housing. All the housing on site will be managed by Platform Housing Group and will provide affordable rented accommodation in a sustainable location whilst safeguarding the historic buildings and site for the future.



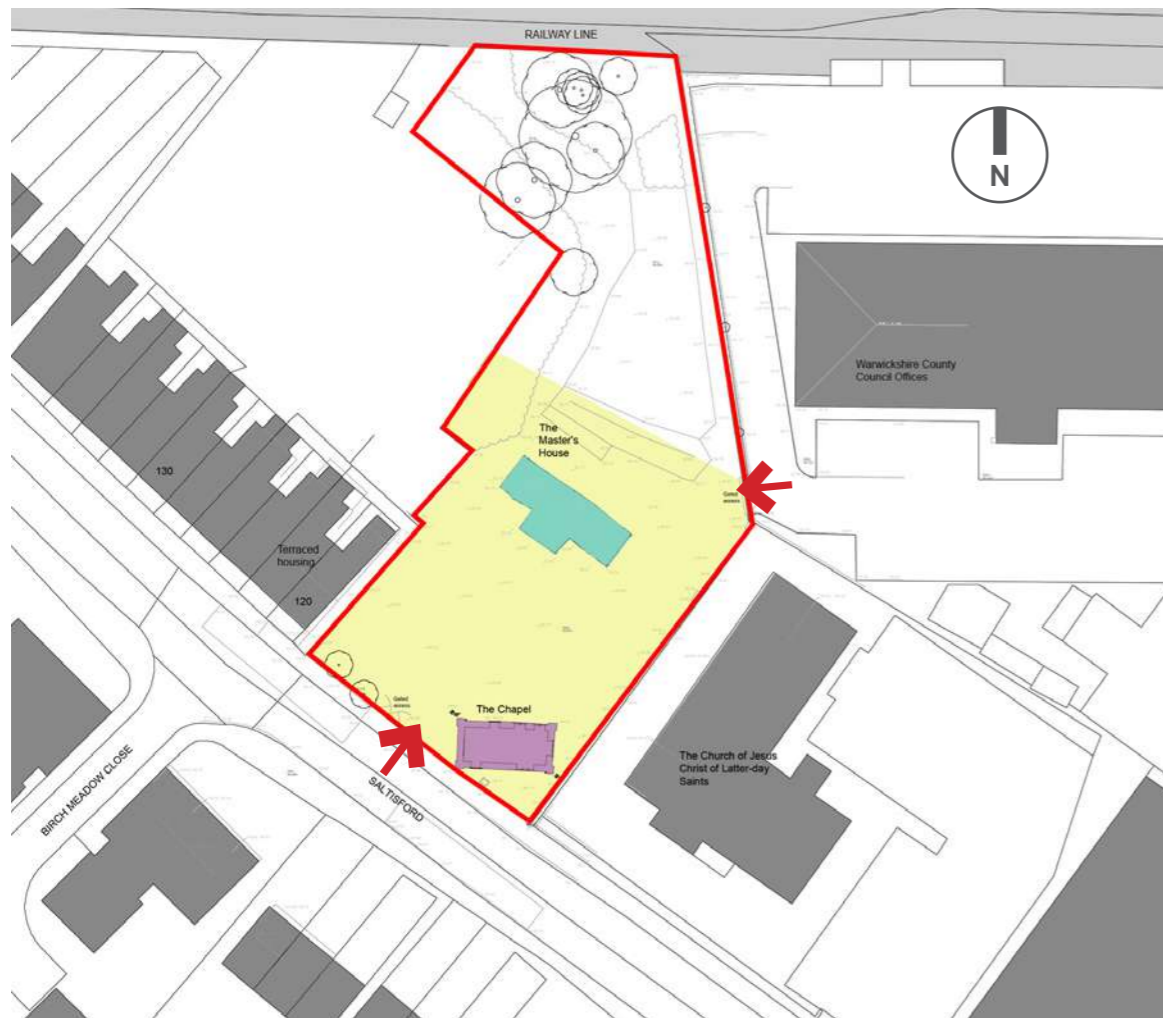
Location Plan showing surrounding Conservation Areas - NTS
(c) Google 2020

1.3 Site Description

The application site is approximately 0.2ha in size situated on Saltisford Road, a main route into Warwick town centre. The site is largely vacant, with the remains of two derelict historic buildings, St Michael's Chapel to the south of the site, fronting Saltisford Road and the Master's House near the centre of the site. The rear of the site is vacant and largely overgrown, with a number of trees separating the rest of the site from the railway line on the site's northern boundary.

The site is currently secured by fences and railings around its perimeter, with 2 points of vehicle access. The first is directly off Saltisford Road, the second is through the car park of the adjacent office buildings, via Ansell Way.

The southern portion of the site is a Scheduled Monument, St Michael's Leper Hospital (List Entry ref: 1011035). The two buildings on site are both separately Grade II* listed, Master's House (List Entry Ref: 1364850) is currently on Historic England's At Risk Register, whilst St Michael's Chapel has had some recent restoration works.



- Extent of Scheduled Monument
- St Michael's Chapel
- Master's House
- Existing pedestrian and vehicular access

Site Plan Identifying key buildings - NTS

Brief History of the Leper Hospital

As detailed in the Schedule listing the site was previously that of the Saltisford Leper Hospital, one of only 3 remaining in the country.

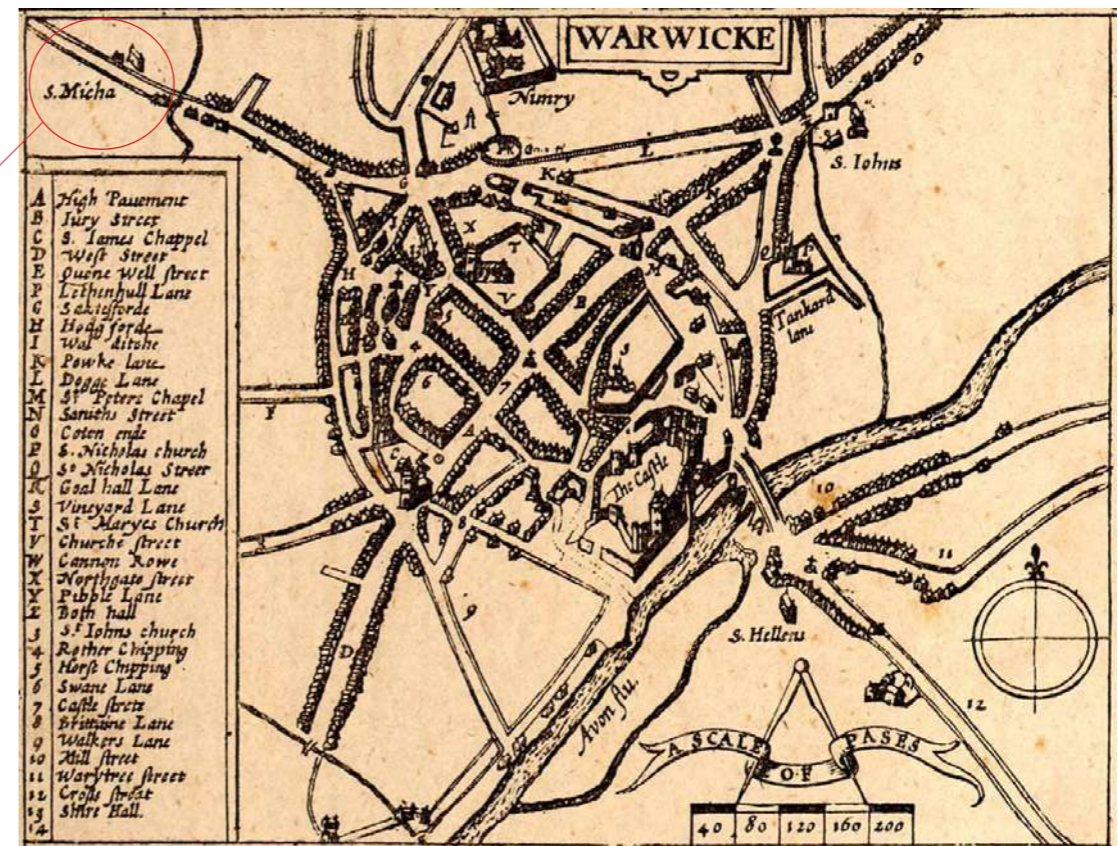
If you caught leprosy in medieval Warwick the hospital provided the sufferer with a place to live rather than providing segregation or medical care, as in medieval times they did not have the same concept of how diseases spread as we do today.

The word hospital originally referred to places of shelter for those in need - homeless, poor travellers etc. as well as the sick.

Founders located sites to show off their wealth and piety to travellers. The occupiers were self-sufficient but also sold produce to the townsfolk - this was a good location for that and to beg for alms (charitable assistance), on a main road with a steady flow of traffic to and from the walled town of Warwick.

Beneath the grass are the archaeological remains of further medieval buildings for those who managed the leper hospital - the Master (manager), cooks, brewers, general servants etc. - and for those who received shelter.

Site of former Leper Hospital



Archive map (c17th century) illustrating the location of the Leper Hospital site in relation to the settlement- NTS

Recent History of the Site

By the 17th and 18th century St Michael's Chapel and the Master's House were converted to cottages.

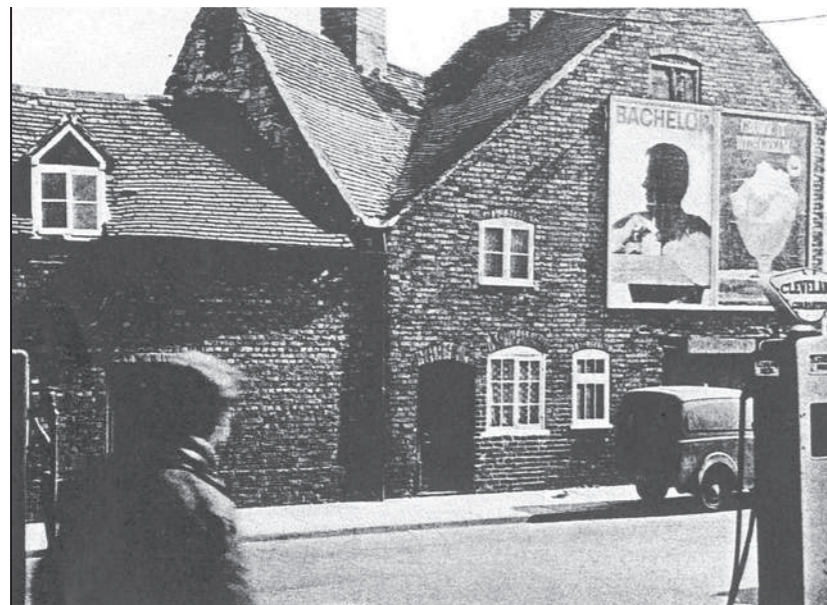
Historic photos show the frontage along Saltisford Road with cottages built up to the pavement and surrounding St Michael's Chapel on all sides. A chimney can be seen projecting from the Chapel's roof.

The Master's House is seen divided into three cottages with multiple lean-to extensions and canopies and brick infill between its timber framing.

Later the buildings surrounding St Michael's Chapel were demolished, revealing large openings that had been made in its walls.



Archive photo of the rear of Master's House '4,56 St Michael's Terrace in the 1950's'



Archive photo of the rear of the view from Saltisford Road, the south west gable visible between surrounding buildings, 1962



Archive photos of St Michael's Chapel following the demolition of cottages on its north and west elevations





Photo of Master's House c 2017, showing inappropriate boarding and remains of tarpaulin



Photo of Master's House c 2020 following installation of scaffold support and appropriate protection

Current Condition of the Site

The site is currently in private ownership and unoccupied. Though currently secure, the site has previously been subject to vandalism and occupied by homeless people seeking refuge in the less-than-safe buildings. The majority of the site continues to become more overgrown, with various debris from the building works on the chapel strewn across the site of the Scheduled Monument.

Despite efforts to protect the Master's House by the current owner it has fallen into disrepair. Inappropriate boarding has been used to try to shield the timber frame from the elements and tarpaulin used to cover the roof may have created more problems with water ingress and has since been torn off by the elements.

Long term dereliction and neglect the Master's House has resulted in it becoming structurally unstable. It is on the Historic England's At Risk register, listed as Priority B and in Very Poor condition. In the absence of action from the site's owner West Midlands Historic Buildings Trust organised for the building to be appropriately protected whilst plans for its future repair and re-use could be considered. This included a stabilising scaffold structure with protective roof cover and netting to be installed to secure the building and prevent further damage.

The current owner has, however, undertaken considerable restoration work on St Michael's Chapel, rebuilding the stone walls, incorporating new stone window and door surrounds including stone hood mouldings and stone mullions, installing solid carved timber members to provide the structure for a first floor level and re-roofing in clay tiles.

Under its current ownership the site has been subject to a number of planning applications. An approved scheme to convert both buildings to office use was commenced but later abandoned and have not been fully implemented. The only work to have been carried out is the partial repair of the Chapel.

The rear of the site remains vacant.

1.4 Development Description

The buildings, particularly the Master's House, are in a poor condition and will continue to deteriorate if they are not repaired.

The historical and architectural value of the buildings have been recognised by Warwick District Council and Historic England as important both locally and nationally.

Warwick District Council are working in partnership with Platform Housing Group and propose to sympathetically repair and convert both listed buildings to single dwellings, facilitated in part by the construction of a new apartment building to the rear of the site. The partnership has a successful track record of bringing listed buildings within the area back into use. The most recent example of their success is the neighbouring Gasworks development.

Warwick District Council are also working in partnership with West Midlands Historic Buildings Trust (WMHBT) who have a track record in building preservation and securing grant monies for difficult sites such as the application site at Saltisford. WMHBT take on ownership of sites in order to gain grant monies for the repair of historically important buildings. The Trust will have a back to back agreement with Platform Housing in order for them to lease the properties from them in future.

The Leper Hospital site remains the only part of the immediate area which is undeveloped and Warwick District Council are keen to support local interest in bringing the buildings back into use.

It is proposed that St Michael's Chapel will provide a 1 bed home, whilst the Master's House will be converted to a 2 bed home. The new residential use would allow alterations to the buildings to be minimal.

The new apartments to the rear will also provide affordable housing, with 8no. 1 bed apartments spread over 3 floors.



Photo of the north elevation of St Michael's Chapel c 2020 showing new stonework and tiled roof



Photo of St Michael's Chapel c 2020, showing new stonework and tiled roof



Photo of rear of the site showing overgrowth

2. Assessment

2.1 Site Context

2.1.1 Transport and Local Facilities

The site benefits from good transport links as it is located between Warwick and Warwick Parkway railway stations just 15 and 21 minutes walk away. These provide regular services with direct trains to Birmingham, London and Stratford-upon-Avon.

There is a bus stop immediately in front of the site on the Saltisford Road. This provides regular services to Warwick town centre and Leamington Spa. The site is also within 10 minutes walking distance of a number of other bus stops, providing regular bus services to Stratford-upon-Avon and Coventry.

The site's location close to the town centre also offers plenty of public parking areas within 2 miles.

The area immediately surrounding the site has a mix of uses including large office spaces, retail and a large number of older and new houses and apartments.

There are a number of existing facilities and amenities located within a short walk of the site:

- Restaurants and public houses (2 minutes walk)
- Large supermarket (3 minutes walk)
- Private gym (3 minutes)
- Priory Medical Centre - doctors' surgery (9 minutes walk)
- St Mary Immaculate Catholic Primary School (12 minutes walk away)
- A number of pre-schools (10-15 minutes walk)
- Wider range of shops, restaurants and cafés within the town centre (8 minutes walk away)

The site is easily accessible by both pedestrians and vehicles.

There is an existing access from Saltisford Road, however the local highways authority will not accept this to be used as a vehicular access once the site has been re-developed. This access off Satisford Road is to be for pedestrian and cycle use only. An alternative vehicle access point via the adjacent office car park has been maintained and agreed with Warwickshire County Council. The car park is in the ownership of Warwickshire County Council and there is a legal agreement in place for access across it.

Due to its sustainable location in close proximity to a range of facilities and sustainable transport links it is not anticipated that all new residents will require the use of a car. As such it is intended that only a limited number of parking spaces will be provided in order to promote the use of the public transport and walking.

2.1.2 Ecology (refer to separate reports by Middlemarch Environmental)

A Preliminary Ecological Appraisal and a Preliminary Bat Roost Assessment was carried out on site in October 2019.

Nature Conservation Sites

The report found that there are no Statutory designated ecology sites that would be impacted by the proposals.

There are two non-statutory sites, the Railway Line, Rowington & Shrewley area (Ecosite) and the Com Brook (part of the River Avon LWS) that have potential to be indirectly impacted upon by the construction phase of development at site if insensitive lighting were to be used.

Habitats

The mature and early-mature trees within the northern part of the site have intrinsic habitat value.

Aside from these trees the remaining habitat within the site is not considered to be notable and does not meet the national or local biodiversity criteria.

Protected and Notable Species

The buildings on site may provide potential ingress points and roosting locations for bats. The proposals may result in a loss of foraging resources, however no long-term impacts on bats are anticipated provided lighting is carefully designed to minimise disturbance.

There is no evidence of badgers within the site, though there is potential for badgers to pass through the site.

The site contains habitat that may be suitable for hedgehogs.

The on site habitat may also be suitable hibernation habitat for reptiles such as snakes, though there is only a single record of a grass snake being located within 980m of the site.

The trees, scrub and buildings on site may provide suitable nesting habitat for common bird species. Any works should be timed to avoid potential harm to nesting birds.

It is anticipated that there will be no long-term impacts of the works on invertebrates, such as moths, provided suitable new habitats are incorporated to support these species on site.

There is Japanese knot-weed, an invasive species of plant, present in the northern part of the site.

Recommendations

Nature Conservation Sites

A Construction Ecological Management Plan (CEMP) should be compiled for the site to minimise the potential impact of the construction phase of the development on the existing ecology of the site and off site receptors, and ensure works proceed in accordance with current wildlife legislation. This document should be agreed with the Local Planning Authority ecologist prior to any works commencing.

Habitats

Existing and notable habitats, including early-mature and mature trees should be retained where possible. Where this is not possible appropriate replacement planting should be incorporated on site.

Biodiversity enhancements should be incorporated into new landscaping scheme to provide a net gain in biodiversity across the site. This could include:

- planting habitats which will be of value to wildlife
- provision of nesting/roosting habitats for bird and bat species
- inclusion of hedgehog passes under fences

Protected and Notable Species

Bats:

At least three dusk emergence and/or dawn re-entry surveys are to be undertaken during the bat emergence/re-entry survey season to determine the presence/absence of roosting bats within the structures. If a roost is discovered during these surveys, a Natural England licence application may be required.

Any new lighting should be carefully designed to minimise potential disturbance and fragmentation impacts on sensitive receptors, such as bat species.

Reptiles:

Clearance of any suitable reptile habitat should be undertaken under the supervision of an experienced ecologist. Clearance to be undertaken in a manner which allows reptiles to disperse and appropriately timed to be completed whilst reptiles are active.

Nesting Birds:

Vegetation and building clearance should be undertaken outside the nesting bird season. If this is not possible then any vegetation/buildings to be removed or disturbed should be checked by an experienced ecologist for nesting birds immediately prior to works commencing. If birds are found to be nesting any works which may affect them should be delayed until the young have fledged and the nest has been abandoned naturally.

Terrestrial Mammals (Badgers & Hedgehogs):

During construction phase any excavations that need to be left overnight should be covered or fitted with mammal ramps to ensure that any animals that enter can safely escape. Any open pipework with an outside diameter of greater than 120 mm must be covered at the end of each work day to prevent animals entering/becoming trapped.

Clearance of scrub, ruderals and debris piles should be undertaken in a sensitive manner to avoid harming small mammals. If any are found during the course of the works they should be removed carefully to a suitably undisturbed location within the vicinity. This should be completed when these species are active.

Invasive Plants:

The works must not cause the spread of Japanese knot-weed, known to be present on site. A Method Statement must be developed to ensure works are appropriately managed.

2.1.3 Noise (refer to separate Environmental Noise Survey and Memorandum (dated 11th May 2020) by noise.co.uk Ltd)

An environmental noise survey has been carried out at the site to determine typical ambient sound levels. It has found that the main source of ambient noise was the Saltisford Road. The sound levels have been used to calculate the facade sound insulation to reduce sound levels within the converted buildings and proposed new apartments. Due to its proximity to the road St Michael's Chapel is identified as being more exposed to ambient noise on its north-east, south-east and south-west elevations.

Glazing and ventilation are identified within the report as areas of building fabric likely to provide the lowest sound reduction, and so the report recommends a preferred sound reduction for each of these that would be compliant with the guideline values for noise within the buildings. For all new windows these were as follows:

Living Rooms (Daytime)	Bedrooms (Night-time)
Specification 1 – Elevations along Saltisford Road	
35dB $R_w + C_{tr}$ / 41dB $D_{ne,w} + C_{tr}$	32dB $R_w + C_{tr}$ / 38dB $D_{ne,w} + C_{tr}$
Specification 2 – Everywhere else	
20dB $R_w + C_{tr}$ / 26dB $D_{ne,w} + C_{tr}$	27dB $R_w + C_{tr}$ / 33dB $D_{ne,w} + C_{tr}$

However, the glazing units currently available on the market which provide these required sound reduction levels are 18mm (meeting Specification 2) and 27mm (meeting Specification 1) thick. Due to the historic significance of St Michael's Chapel and the Master's House it is important that any new window fittings do not detract from the existing fabric. As such a suitable steel framed window was chosen, a W20 framing system, this is Historic England's preferred glazing solution. These windows do not take glazed units deeper than 16.2mm and so are not able to take glass which would meet the required sound reduction.

Alternative options for new windows were explored and through discussion between Environmental Health, Historic England and the Planning Department and it was agreed that a lower specification of noise reduction may be acceptable in order that the visual impact on the historic buildings be kept to a minimum. Proposals should look to provide the highest level of sound reduction in glazing and ventilation possible whilst ensuring products and materials used are suited to their context within the historic buildings.

2.1.4 Archaeology (refer to separate Heritage Assessment by The Jessop Consultancy)

SUMMARY OF ARCHAEOLOGY:

The site of the former Leper Hospital in Saltisford, Warwick is a scheduled Monument (NHLE: 1011035) and contains two Listed Buildings – The Master's House Grade II* (NHLE: 1364850) and the former Chapel of St Michael – Grade II* (NHLE: 1035366).

HISTORICAL SUMMARY:

Historical accounts indicate that the earliest development of the Site and adjacent property to the east was as a leper hospital, chapel and cemetery. The scheduled site forms the southern part of the development area and comprises of two standing building and an area of rough grassland, representing former gardens.

The hospital was founded by Roger Earl of Warwick at the end of the reign of Henry I, c.1130s. The endowment was intended to support a small community of lepers, being presided over by a warden (a priest) and records of their tenure survive from 1275. In 1535 it was given to Richard Fisher in exchange for rent and the provision of money and four beds to the poor. The last master/warden was appointed in 1557. The chapel and Master's house were converted to cottages in the 17th-18th centuries and a row of secular almshouses were built along the Saltisford street frontage in 1635 and which were demolished in the 1960s.

SUMMARY OF ARCHAEOLOGICAL EXCAVATIONS/MONITORING:

Watching brief 1977

A watching brief was undertaken by Harold Mytum for Warwickshire Museum during the demolition of later structures around the Chapel, which exposed the foundations of the west wall. A deposit of loose sand and sandstone was recorded, which may represent a construction trench. A single shard of 13th century pottery was recovered.

Trial holes 1988

Two trial holes were excavated by building contractors against the west end of the Master's House and revealed a series of layers that were interpreted of being Medieval and Post-Medieval in date.

Archaeological evaluation 2004

Four archaeological trenches of differing sizes were excavated across the site to assess the archaeological potential of the Scheduled Monument by Warwickshire Museum Field Services in advance of a proposal to erect a new office block.

The excavations located the remains of stone building believed to date to the 13th Century, post holes and pits of varying sizes, again from the 13th Century or earlier. Boundary features were identified including a wide ditch to the north of the Master's House. Evidence for Post-Medieval usage on the site comprised of masonry wall foundations and a yard surface.

STANDING BUILDINGS:

The Chapel

The Chapel is a single cell structure built from sandstone with a pitched roof. It has been extensively restored, however historic photographs confirm that it formerly was adorned with wall paintings and had a barrel vaulted timber ceiling. No evidence for previous archaeological surveys of the standing fabric has been identified.

The Master's House

Archaeological survey

An archaeological building survey was undertaken by Dr Richard Morriss in a 1996 survey of the Master's House and suggested that the building post-dated the dissolution of monastic houses and institutions. He concluded that the building was a fairly small timber-framed building of three main components, although subsequently separated into three dwellings by the early 19th Century and had suffered relatively few major alterations. An earlier building lying to the south of the earliest surviving part of the house was demolished and replaced by a partly timber-framed lean-to-structure.

Dendrochronological analysis

In 1997 a dendrochronology survey was undertaken by the Nottingham University Tree-ring dating Laboratory and established that the timbers dated to 1503-1528, thus pre dating the dissolution.

ADDITIONAL HERITAGE / ARCHAEOLOGICAL SURVEYS

2006 - A Conservation Statement for the site was prepared by Diane Trenchard-Jones

2017 - A commentary on the archaeological information for the site was prepared by Clare Henshaw

2019 – Magnitude Surveys undertook an archaeological geophysical survey of the site using a hand pushed sled-mounted ground penetrating radar, over an area of c.0.22ha. Within the site, the presence of a characteristic grave type anomaly was identified, along with further similar responses throughout the survey area possibly suggesting more grave sites. Wall-like responses were identified possibly corresponding to medieval wall remains. They also noted that widespread rubble material is seen throughout the site corresponding to either landscaping of the area or the demolition of previous structures

2020 – A heritage statement has been prepared by Oliver Jessop to review all the various stages of archaeological investigation for the Scheduled Monument and Standing buildings, and assess the impact of the proposed scheme upon the heritage significance of the site which has included:

- A review of previous archaeological reports;
- Review of the historical accounts;
- Consultation with the County Archaeologist and Warwickshire archives;
- Analysis of historical mapping in relation to the geophysical survey and 2004 excavations;
- Consultation with the Historic England archive and library in Swindon which has identified historical photographs and drawings for the two Listed Buildings.

2.1.5 Flood Risk (refer to separate Flood Risk Assessment by JBA Consulting)

A Flood Risk Assessment (FRA) for the site was undertaken to provide information on the nature of flood risk at the site. The flood risk to and from the site has been determined based on publicly available information, review of OS maps and site topographic survey data provided by Strata Surveys Ltd.

The main watercourse affecting the site is the Saltisford Brook a tributary of the River Leam, located approximately 45m to the North West/West of the site.

The site to be located within Flood Zones 2 and 3.

Fluvial Flooding

Hydraulic modelling outputs of the Saltisford Brook were derived to determine the risk of fluvial flooding to the site in the 100-year with 35% climate change (Design event)

The model results show that the site is at risk of flooding in this Design event, with the Master's House at risk of higher flood levels than the proposed apartment building and St Michael's Chapel.

Surface Water Flood Risk

The proposed apartment building and the Master's House are located within the 1 in 30-year extents and the risk of surface water flooding diminishes towards the south of the site, where the Chapel is located with the 1 in 1000-year events. The overall risk of surface water flooding to the site is considered to be medium.

Groundwater Flood Risk

Groundwater flood risk to the site is considered to be low with no documented cases of groundwater flooding in the vicinity of the proposed development.

Sewer Flood Risk

There are no site-specific records of sewer flooding relating to the proposed development site. According to the 2013 SFRA, the postcode (CV34 4) has had 7 sewer flooding incidents between 2008 and 2012.

Reservoir Flood Risk

The EA Reservoir Flood Risk Map shows the site is not at risk of flooding from reservoir failure. The flood risk is deemed to be negligible.

Recommendations

The flood risk within the site can be mitigated against by implementing the following recommendations:

- For the proposed new apartment building
 - Finished Floor Levels (FFL) and openings (such as air bricks) are a minimum of 56.78m AOD;
 - A void to be retained below the buildings floor to retain the site's floodplain capacity.
- For the conversion of St Michael's Chapel to residential use
 - Position bedrooms at first floor level;
 - Consider flood risk resilience measures, such as raising the height of all electrical sockets above the design flood level.
- For the conversion of the Masters House to residential use:
 - Raise the finished floor level where practical;
 - The use of Property Level Protection Measures such as air brick covers and flood doors is recommended;
 - Flood risk resilience measures are recommended, such as:
 - Raising the height of all electrical sockets, kitchen appliances and sanitary ware above the maximum expected height of flooding;
 - All electrical sockets, wiring and switches should meet the wiring regulations in Part M Building Regulations and BS7671;
 - Where possible, use materials that are resilient to water.
- Landscaping:
 - Any change in ground levels should direct water flows away from the new buildings to drainage systems or the road;
 - Access roads and parking should slope away from buildings.

A flood evacuation plan should be in place to direct residents out of the site safely and early in the event of flooding. Once evacuation becomes unsafe the proposed apartment building should provide a safe refuge on site.

Flood Risk Continued; Sequential and Exception Tests.

Within the Flood Risk Assessment (FRA) prepared by JBA Consulting, section 3.3 refers to the Sequential and Exception Tests. It outlines the sequential approach that is applied to identify suitable sites for development and provides reasons why development should be considered acceptable on this site. It concludes that it is assumed the proposal passes the Sequential Test and satisfies both parts of the Exception Test, however it notes that the responsibility for confirming that the proposal satisfies the Sequential and Exception Tests lies with the Local Planning Authority, taking advice from the Environment Agency.

Supplemental to the information provided within the FRA with regards to the Sequential and Exception Tests, it must be re-affirmed that in considering the site for residential development, the very special circumstances have to be considered and balanced against the flood risk.

Whilst it is acknowledged that there may be other suitable sites for residential development within the district, the redevelopment of the former Leper Hospital site on Saltisford provides a unique and time limited opportunity to secure the long-term future for both the Master's House and the Chapel, as part of the remains of the former Leper Hospital, which is acknowledged by both Warwick District Council and Historic England to be of both local and national historic importance,

In an Executive Report prepared in August 2019, the District Council has previously acknowledged that the Master's House and St Michael's Chapel are on the Heritage at Risk Register, with the condition of the Master's House, being described as 'very bad' which is the most serious of categories. A structural survey and assessment carried out in May 2019, concluded that the Master's House building was in serious danger of further deterioration, which would result in the loss of this nationally important heritage asset.

The District Council has considered the supporting strategies within the NPPF and noted that one of the core planning principles was to 'Conserve heritage assets in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of this and future generations' and that 'heritage assets are an irreplaceable resource and that the District Council, as the local planning authority, should set out a positive conservation strategy to ensure the continued maintenance and enjoyment of heritage assets, and those at risk from decay, neglect and other threats'. The guidance within the NPPF goes on to state that the local planning authority should consider 'the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation'. In addition the District Council, as the local planning authority has a statutory duty to have special regard to the desirability of preserving any listed building within its setting, when considering development proposals.

The District Council has looked at a number of suitable and viable uses for the existing buildings and the wider site, over a number of years to secure its long-term future, however until the current development proposals for the restoration and conversion of the existing buildings into dwellings and the provision of 8 no. new apartments have been brought forward, no other viable and sustainable uses have been identified or secured. The comprehensive development of the site for residential use, is therefore acknowledged by the District Council as the only way that has been identified to secure the necessary development finance to support the proposals and to facilitate the implementation of the long-term management required for the site, through the involvement of Platform Housing Group.

Being mindful of the heritage importance of bringing forward viable proposals for the site, whilst also giving due consideration to the flood risk issues, as stated in the FRA, following the preparation of the assessment and initial liaison with the Environment Agency, all practical means of addressing the potential flood risk concerns have been considered and mitigated as far as possible for both the existing buildings and the proposed new flats. This includes flood resilience measures with regards to the Master's House and Chapel and flood mitigation measures with regards to the new build flats

In conclusion, whilst it is acknowledged that development of residential properties within a flood risk area has to be carefully considered, it also has to be balanced against the very special circumstance of this site, which as previously stated provides the unique and possibly last opportunity to secure a long term and financially viable development proposal for the site, that will protect the nationally important heritage assets. It is therefore considered that the proposals do meet the threshold with regards to satisfying both the Sequential and Exception Test.

2.1.6 Utilities (refer to separate Mechanical & Electrical Strategy Briefing by RCD)

Various options for routing of the services have been considered between BHB and RCD, primarily centred around the potential for routing elements of the incoming services to the site via the neighbouring WCC car-park off Ansell Way, or direct from Saltisford Road.

The intention is to combine the majority of the incoming services that will serve the Master's House and the new apartment building within a combined services trench, originating at the south-west corner of the site, where gas, water and telecoms connections would emanate from Saltisford Road. It is proposed that these connections are laid in a combined trench to minimise the disturbance to the Scheduled Monument.

The incoming electrical service infrastructure for the Master's House and the new apartment building is currently noted to enter the site via WCC's car park. In addition, this service would also serve an external landlords supply.

The incoming infrastructure to St Michael's Chapel shall be routed totally independently, with all connections direct from Saltisford Road.

2.2 Local Character

2.2.1 Built Form

Buildings Within the Site - The Master's House

(note for in depth analysis see separate drawings and Heritage Statement submitted with the application)

Master's House is central to the site and parallel to the road.

The Historic England list entry reads:

'Part of the Leper Hospital of Saint Michael founded in C12. Subsequently divided into three tenements. C15 structure on C12 foundations; often called the Priest's or Master's House. Heavy, fairly close set timber framing, brick and some cement infilling. Later wooden casements and doors, 2 storeys, old tiled roof. One of the very few leper hospitals of the early middle ages still surviving. VCH, viii, p.438.'

Today the Master's House is concealed behind the protective scaffold, beyond which there is the remains of the timber frame, some brick infill, part of the stone and brick plinths, part of the clay tiled roof, the remains of the chimney hearths and 3 staircases.

The main part of the House is a 2 storey (now distorted) rectangular plan, of 3 almost square bays of timber frame. From the central bay a single storey out-shut still remains. The remains of the 3 staircases evidence the buildings use as a brief terrace of 3 cottages, each occupying 1 of the 3 bays. Within each bay there is the remains of a fireplace and staircase.

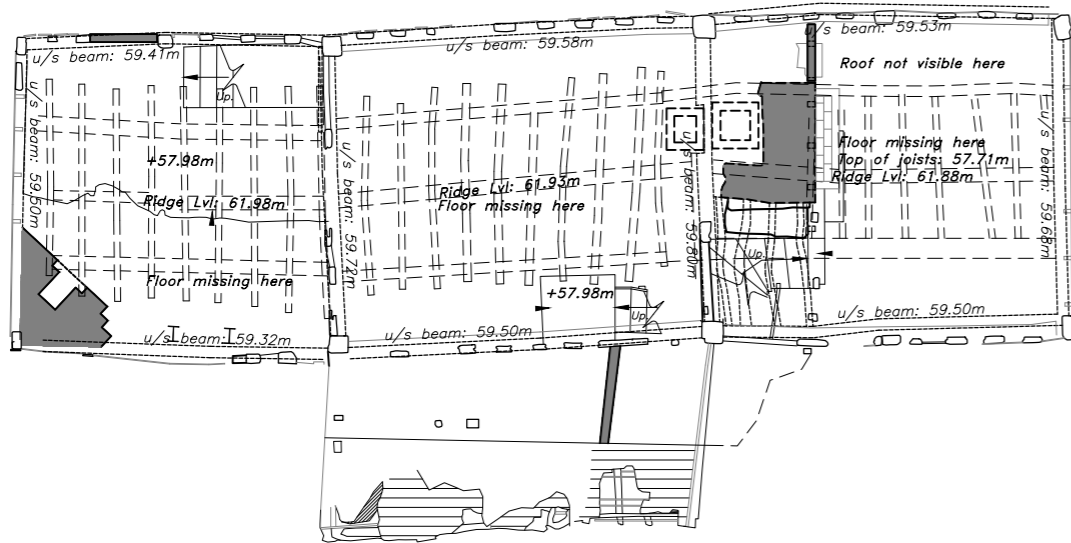
The small lean-to to the side of the out-shut seen on the archive photos is no longer present, and the out-shut is not as wide, having lost one of its chimneys.



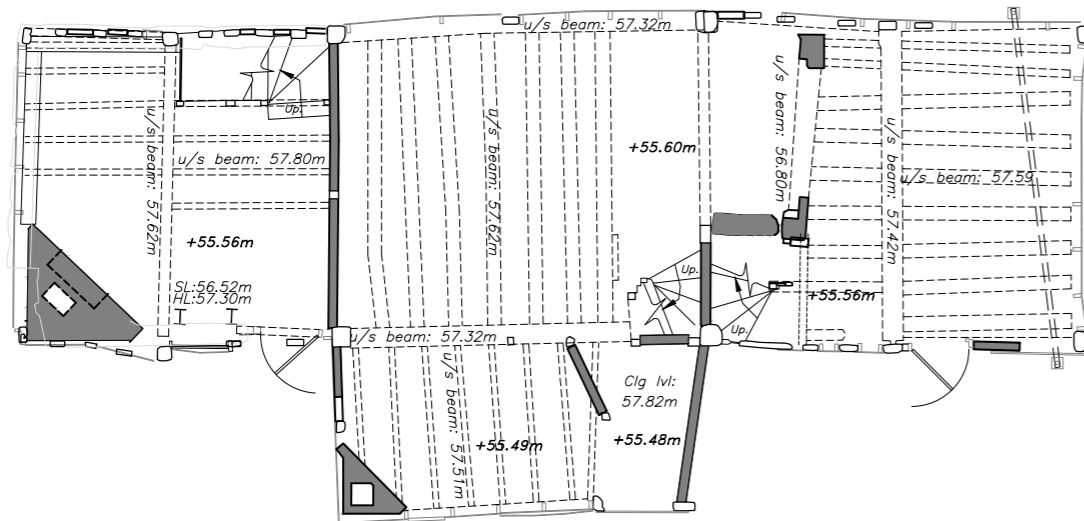
View of the south west elevation of Master's House c mid to late 1900s



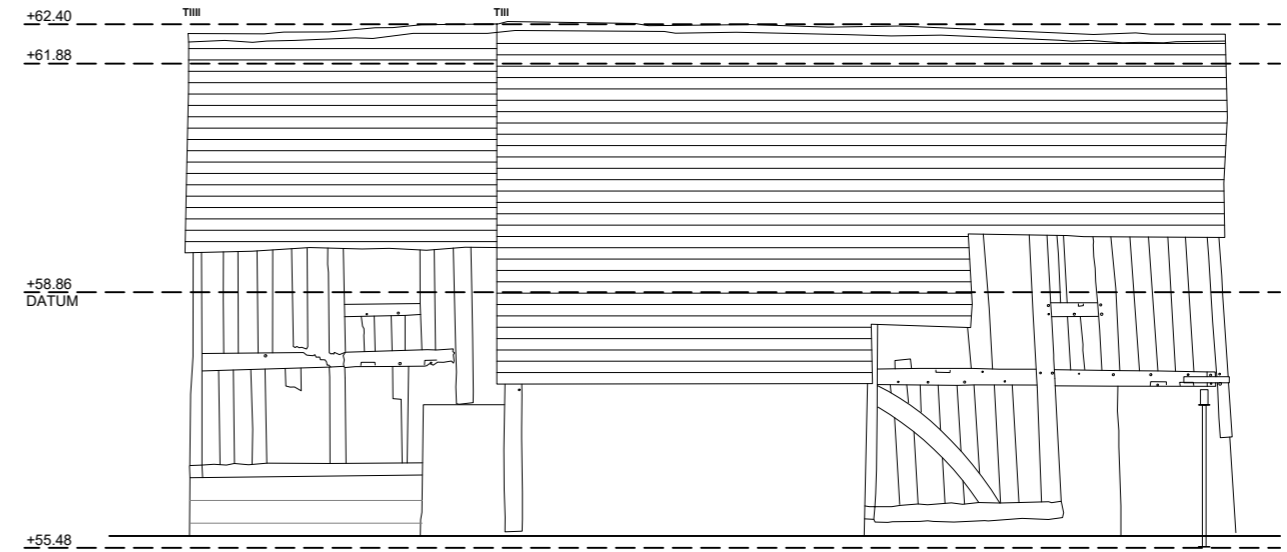
View of the south west elevation of Master's House c 1990s



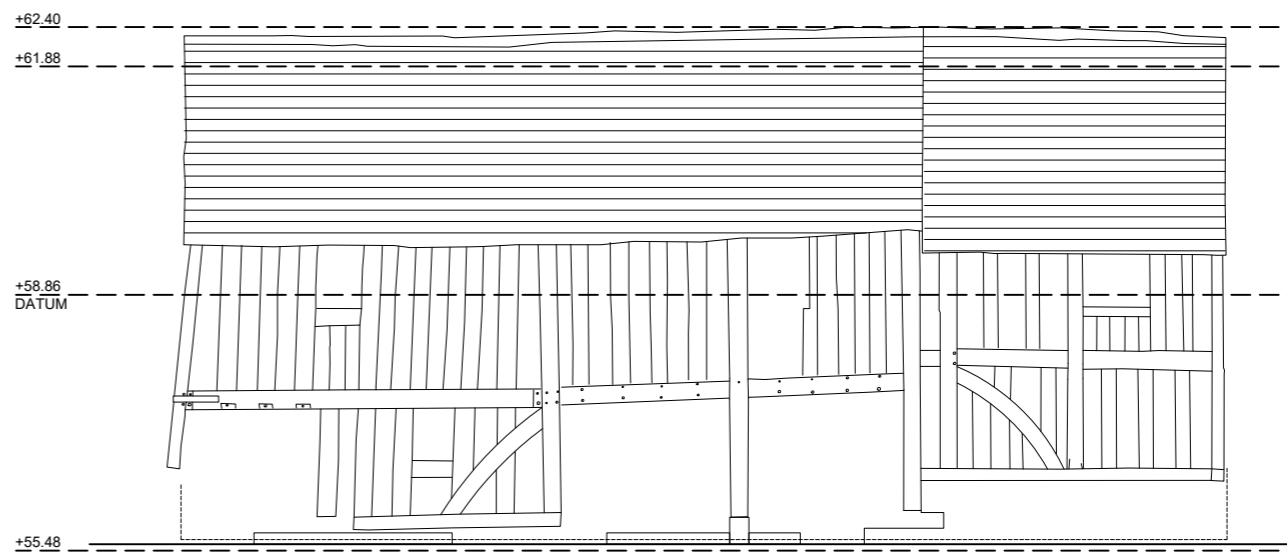
Existing First Floor Plan of Master's House



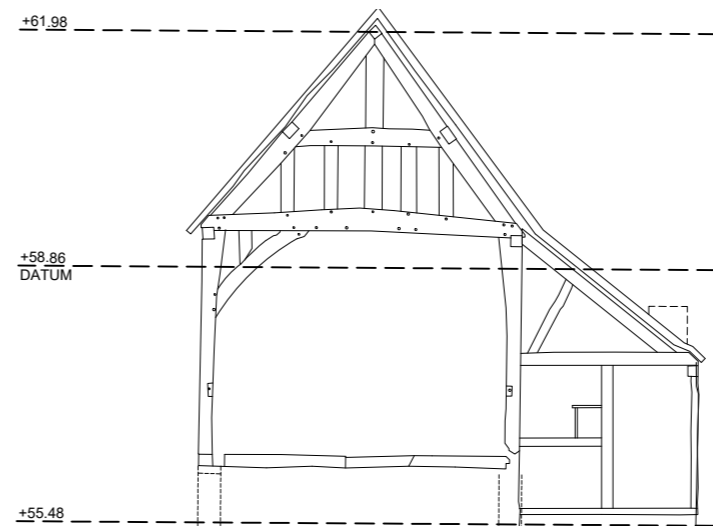
Existing Ground Floor Plan of Master's House



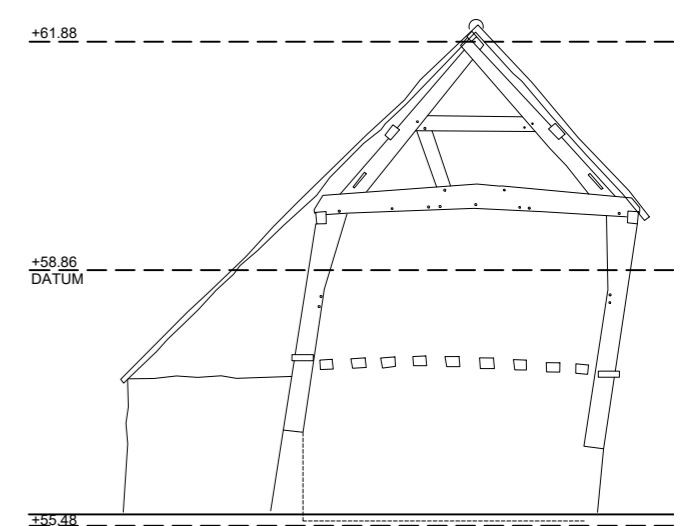
Existing Southwest Elevation of Master's House



Existing Northeast Elevation of Master's House



Existing Northwest Elevation of Master's House



Existing Southeast Elevation of Master's House

Buildings Within the Site - St Michael's Chapel

(note for in depth analysis see separate drawings and Heritage Statement submitted with the application)

St Michael's Chapel is liturgically orientated and located towards the south of the site, nearest Saltisford Road.

The Historic England list entry reads:

'C15 on C12 foundations. Chapel for the Leper Hospital of Saint Michael. Ashlar, old and machine tiled roof. Now part of 2 cottages formed in C18 from chapel and brick additions towards road. Blocked east window, no tracery. Interior: carved and moulded timber barrel vault.'

The Chapel is a simple rectangular plan, with deep solid stone walls and a steeply pitched timber framed roof, with handmade clay tiles. The building is constructed on a true liturgical layout with east window clearly evident. There are a number of domestic scale window openings and a door opening in both the north and south elevations, though there are no windows or doors fitted. All window and door surrounds appear to be recent repairs in new stone. None of the previous patchwork of stone and brick infill seen in archive photos and drawings is present.

The building has had a relatively recent scheme of repair undertaken, as a result the stonework and roof to the building are in generally good condition.

Externally stonework is in very good condition with much stone repair evident. The roof is in generally good repair, with minimal replacement of broken tiles needed. The coping stones to the parapet gable walls have been replaced and a stone cross finial installed on the west parapet.

The chimney seen in some archive photos, from its time as 2 cottages, is no longer present. The barrel vault ceiling and timber carvings below the roof structure have also been lost.

Large carved oak beams have been installed at first floor to provide a floor structure, though presently there is no floor boarding.

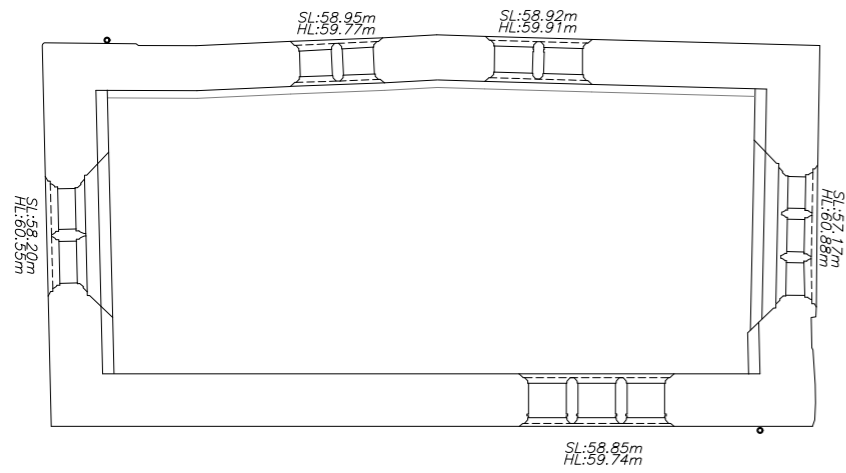
The ground floor structure is missing completely. There is evidence of limited brick sleeper walls remaining.



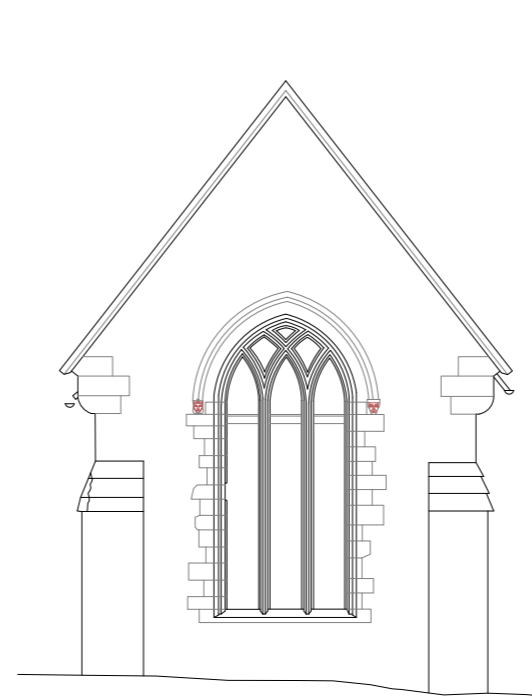
Archive image of St Michael's Chapel, c 1850



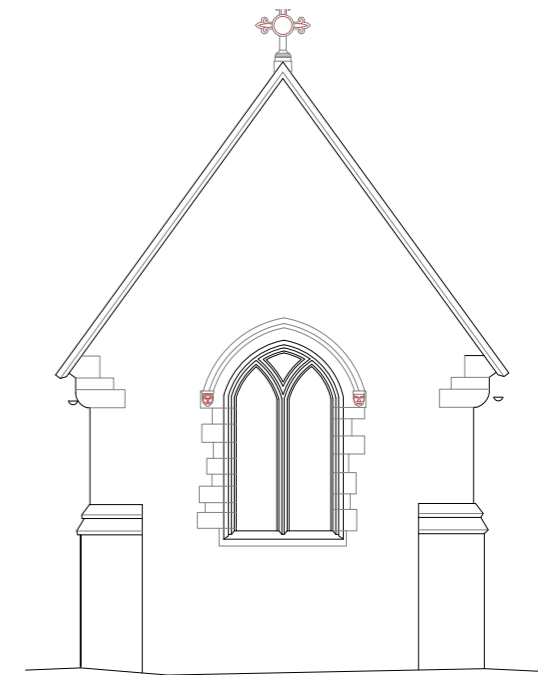
Current photo of St Michael's Chapel, north and west elevations



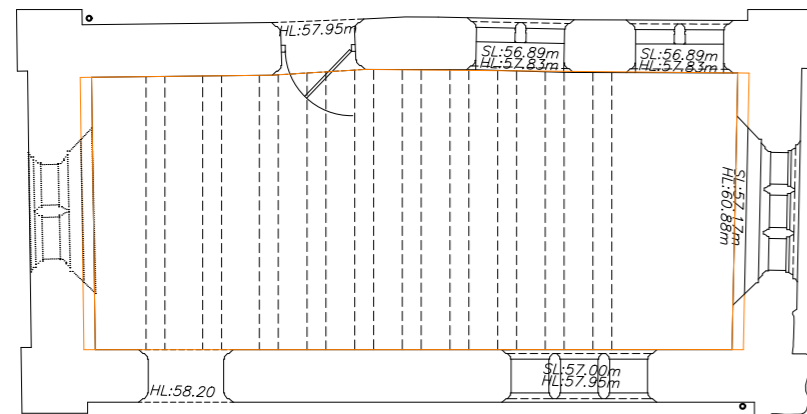
Existing First Floor Plan of St Michael's Chapel



Existing East Elevation of St Michael's Chapel



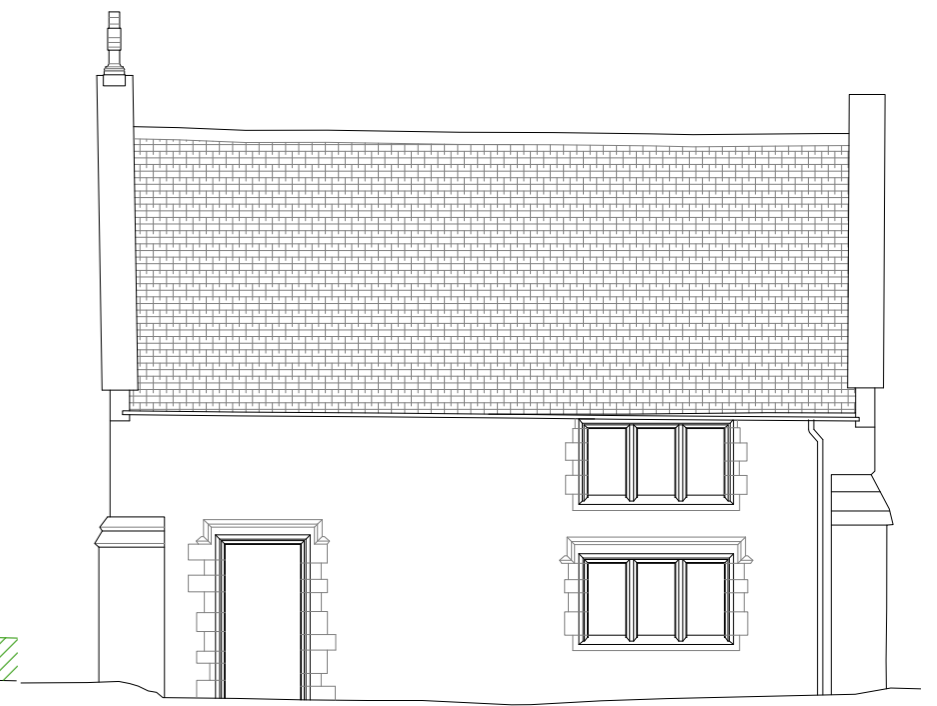
Existing West Elevation of St Michael's Chapel



Existing Ground Floor Plan of St Michael's Chapel



Existing North Elevation of St Michael's Chapel



Existing South Elevation of St Michael's Chapel

Surrounding Buildings

The site is surrounded by later development on all sides.

Early 21st century housing backs on to the south side of Saltisford Road, immediately opposite the site. Further along the road and to the south the development continues with 3 and 4 storey apartment buildings, all of red brick.

To the west of the site there is a row of Victorian terraced houses, much altered, many with modern windows, doors and later extensions.

To the east of St Michael's Chapel is The Church of Jesus Christ of Latter-day Saints, a late 20th century 2 storey red brick building with pitched roofs, large in volume and height compared to the chapel.

To the east of the vacant northern portion of the site is the 21st century office buildings built by Warwickshire County Council, set in the car park accessed off Ansell Way. Access and easement for vehicular access and service connections to the site across this car park has been maintained in a legal agreement. The red brick office building has a deep rectangular plan, 2 storeys, wide glazing, white plastic soffits and rainwater goods and shallow pitched roof with solar panels on the south side.

To the north is the railway line with more residential development beyond.



View across Saltisford Road looking south from the site



View towards the Master's House and office building to the east of the site beyond



View of The Church of Jesus Christ of Latter-day Saints as seen from the site, St Michael's Chapel in the foreground

View of The Church of Jesus Christ of Latter-day Saints as seen from Saltisford Road, St Michael's Chapel in the background



Victorian terraced housing immediately to the west of the site, as seen from Saltisford Road



Victorian terraced housing immediately to the west of the site, as seen from the site

2.3 Planning Policy

2.3.1 National Design Guidance

Government guidance in the form of the National Planning Policy Framework (NPPF) states that there is a presumption in favour of sustainable development (Paragraph 10) and sets out an over-arching social objective in support of this which involves:

“to support strong, vibrant and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering a well-designed and safe built environment, with accessible services and open spaces that reflect current and future needs and support communities’ health, social and cultural well being” (paragraph 8(b), NPPF 2019)

The Government continues to place a high emphasis on design with the revised National Planning Policy Framework (2019) (NPPF) providing detailed advice at Section 12: Achieving well-designed places.

The contribution that good design makes to sustainable development is set out in paragraph 124, as follows:

“The creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process.” (paragraph 124, NPPF 2019)

The NPPF is also clear at paragraphs 125 and 126 that Development Plans should set out a clear design vision to provide certainty to applicants, and that design policies should be prepared in conjunction with local communities to reflect local aspirations.

Paragraph 127 of the NPPF states that with regard to design planning policy and design making should ensure that developments;

- Function well and add to the quality of their area over the lifetime of the development;
- Are visually attractive with good architecture, layout and attractive landscaping;
- Are sympathetic to the history and character of their locality but don't discourage innovation or change eg: increased density;
- Establish or maintain a strong sense of place to create distinctive places to live, work and visit;
- Optimise site potential to achieve an appropriate amount and mix of development (including open space) and support local facilities and transport networks;
- Create places that are safe, inclusive and accessible, which promote health and well-being with a high standard of amenity, while minimizing the fear of crime.

National Planning Policy Framework (NPPF 2019) Section 9: Promoting Sustainable Transport (paragraph. 102), points to the role that design has to play in ensuring that transport issues are considered at the earliest stages of development proposals and the role that design can play to ensure that development maximises opportunities for sustainable transport options.

“...patterns of movement. streets, parking and other transport considerations are integral to the design of schemes, and contribute to making high quality places.” (paragraph 102(e), NPPF 2019)

The National Design Guide published on October 1st 2019 is written to establish a guide to good quality design in line with the NPPF. It provides:

“The National Planning Policy Framework makes clear that creating high quality buildings and places is fundamental to what the planning and development process should achieve. This design guide, the National Design Guide, illustrates how well-designed places that are beautiful, enduring and successful can be achieved in practice.”

The guide addresses the question of how we recognise well-designed places, by outlining and illustrating the Government's priorities for well-designed places in the form of 10 characteristics:

- Context
- Identity
- Built Form
- Movement
- Nature
- Public Spaces
- Uses
- Homes and Buildings
- Resources
- Lifespan



Any proposals for the site should look to address the recommendations of the National Design Guide in all 10 of these areas.

However, the Guide also recognises that detailed design criteria is more appropriately set out at local levels.

2.3.2 Local Design Guidance

The Warwickshire District Council Residential Design Guide 2018 sets out guidance for new development for housebuilders and householders. It is intended to aid builders and the Council to work together to achieve its design aims.

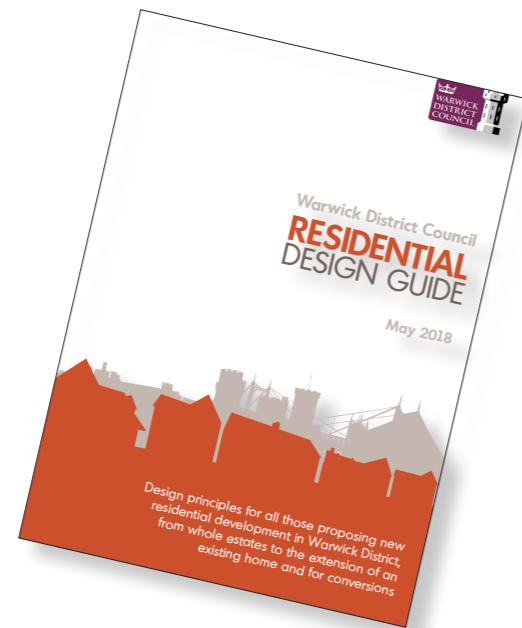
Section 5 provides information on specific design considerations including local distinctiveness, density and scale and design character. It states:

“Distinctive characteristics of certain areas may be equally well interpreted in a contemporary form. The Council wishes to support the use of innovative design which enhances local distinctiveness and the townscape quality.”

Section 6, Design Characteristics recognises that:

“Traditional solutions may not be transferable from one area to another. A clear analysis of each site should enable a site specific building which may be a contemporary solution.”

These are important considerations in designing the new apartment buildings in the context of the historic Master’s House and Chapel adjacent.



In February 2001, Warwick District Council published the Saltisford Warwick Planning Brief which included the Leper Hospital site. The brief indicated that the land should be allocated for residential or employment use.

The report states that:

“Any development which effects the Ancient Monument or the setting of the Listed buildings must be particularly sensitive to their architectural and historic character. Any proposed uses of the two Listed Buildings must seek to preserve them in an appropriate way.”

It sets out the following requirements of any proposals for the site:-

- 1) be designed so as to create a proper setting for these important listed buildings.
- 2) be preceded by an agreed archaeological evaluation programme before any development commences.
- 3) secure the restoration of the listed buildings on the site. The Master’s House should be returned to residential use, and the former chapel may be appropriate for either residential or office use. In any restoration scheme, specialist staff from the District Council will need to be consulted at an early stage.
- 4) create an acceptable living environment adjacent to the railway line, any employment development to the east.
- 5) provide accommodation in the form of either flats or houses.
- 6) provide car parking in accordance with the Council's standards.
- 7) be accessible by modes other than the private car and make adequate provision to encourage those modes of travel.
- 8) be submitted as full applications only. Outline proposals will not be acceptable.



2.4 Site Constraints and Opportunities

- ① The southern part of the site is a Scheduled Monument - new below ground works in this area should be kept to a minimum and service trenches to occupy as limited a space as possible, preferably to be located within an area of least archaeological disturbance.
- ② The site is exposed to high levels of noise from the Saltisford Road, particularly St Michael's Chapel. Glazing and ventilation should be designed to reduce noise as much as possible whilst being appropriate to its location - a relaxation of the noise reduction and ventilation requirements may be appropriate where new windows are to be installed in the Grade II * listed buildings
- ③ The site has potential flood risk, the apartment building should be raised out of the ground out of the flood level and a void retained below it. The Master's House and St Michael's Chapel conversions should be designed with bedrooms at first floor and flood resilience measures implemented.
- ④ Vehicle access is available via the adjacent WCC office car park accessed off Ansell Way (note, legal access rights here have been maintained). The highways authority have confirmed that vehicle access will not be possible off Saltisford Road.
- ⑤ There is potential for ecological habitat on site. Site works must be undertaken in an appropriate manner, with ecologists at site to advise and relocate species where appropriate.
- ⑥ There is opportunity for new landscaping to provide biodiversity enhancements, with appropriate planting, provision of bat and bird roosts and hedgehog passes.
- ⑦ The Master's House and St Michael's Chapel are both Grade II* listed, repair and conversion works to them should be carefully considered to best retain and preserve the remaining historic fabric.
- ⑧ The site is publicly visible from Saltisford Road. There is opportunity to improve the setting of the listed buildings.
- ⑨ There is opportunity to provide an area of shared open space.



Constraints and Opportunities Plan

3. Involvement

3.1 Stakeholder Consultation

3.1.1 Early Viability Appraisal

A previous detailed study was undertaken by Nick Joyce Architects and Clive Haywood Structural Engineers, who made a record of the existing structures and put together a costed package of repairs for the Master's House and the Chapel.

Early Consultation with Historic England

Historic England were consulted early on in the design process, who, along with Warwick District Council are keen to see the site being put back into use. Historic England were supportive of the repair strategy put forward by Nick Joyce Architects to repair the timber frame structure of the Master's House and re-clad the external fabric. The repair strategy will protect the remaining historic asset from further deterioration and allow much of the surviving timber framing to be appreciated from the inside. The main benefit is that the building can be converted to align with current building performance standards as cladding externally will allow insulation to be installed in the wall construction without detriment to the existing building fabric.

It was identified early on that St Michael's Chapel is in a much better condition and minimal alterations will be required to convert the building in line with good conservation practice. On this basis Historic England advised that, in principle, conversion of the Chapel to residential use could be supported.

In early discussions with Nick Molyneux of Historic England, they expressed support for new build elements in the northern portion of the site, outside of the Scheduled Monument.

They advised that the appropriate Scheduled Monument Consents would be required for works needed to provide the converted and new buildings with service connections and landscaping.

Viability Appraisal

The early Viability Appraisal undertaken by BHB Architects identified and investigated 3 Options for the development of the site. These 3 options are summarised below.

Option 1: Develop the entire site for social care supported housing

- New residential development to the north of the site;
- The Master's House converted for office use associated with the new build development to the rear with community space/meeting room on the first floor;
- St Michael's Chapel converted into a 1 bed residential unit as supported housing linked to the new build development.

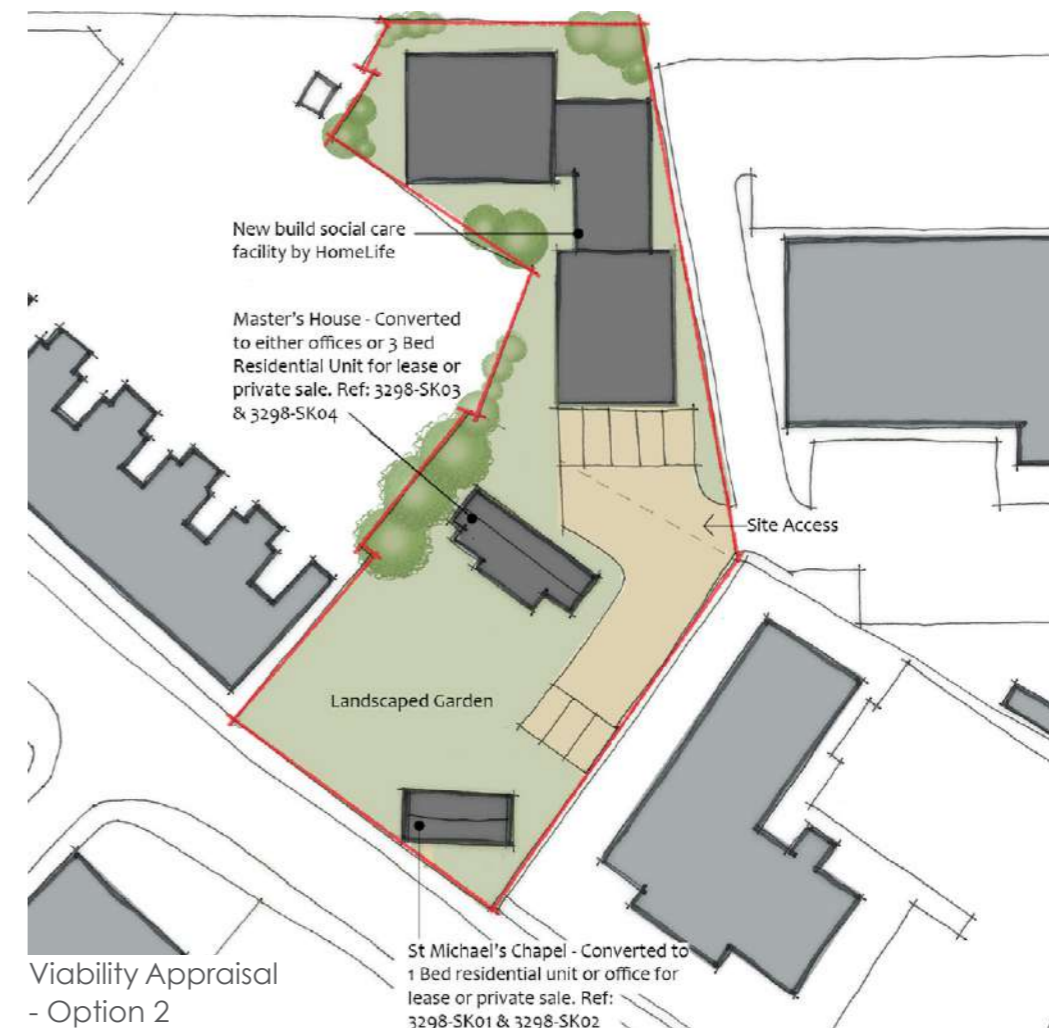
Option 2: Split the site with social care use to the north and Schedule Ancient Monument to be residential or commercial use.

- Individual residential new build units on the rear of the site;
- The option does not include a specific use for the Listed Buildings at the front of the site therefore converting the existing buildings to either office or residential use would be undertaken by a third party.

Option 3: Previous options with the addition of a new build frontage on the historic footprint of the almshouses.

- Re-instate/develop a building to the front of the site on previously disturbed ground of the historic almshouses;
- The options appraisal therefore considers either Option 1 or 2 with the additional new build development to the Saltisford Road frontage;
- Conversion of St Michael's Chapel and the Master's House for either residential or office use.

Initially it was agreed by the Steering Group that Option 3 was the preferred choice. However, cost reports showed that the new build development at the front of the site was cost neutral, resulting in no funding gain for the listed buildings. It was also decided that a covered link between the Master's House and new development to the rear of the site would not be needed as the number of units in the new build could be reduced. Following the partnership formation with Platform Housing, it was agreed that Option 2 would be developed, with Platform leasing the Chapel and Master's House and develop the rear of the site, all to provide affordable housing. This scheme ensures a suitable long term use for both Listed Buildings. It also sees the site retained under one tenant/user group preventing any subdivision of the site. The scheme has been further developed with involvement of statutory consultees and expert consultants, with proposals for the listed buildings being refined and parking for the site reduced.



4. Design Proposals

4.1 Design Aims

- 1** **Safeguard** the future of historic assets - the Master's House, St Michael's Chapel and the Leper Hospital Scheduled Monument
- 2** Provide much needed **affordable housing** in a sustainable location
- 3** Improve the **legibility** of the historic assets within their wider setting for the benefit of the local community
- 4** Bring back into **use vacant buildings** and a derelict site on a key route into the town, to enhance the local area

4.2 Use & Site Layout

The proposals for the site will repair and retain the existing listed buildings in their current positions. Both the Master's House and St Michael's Chapel will be converted to single dwellings.

The Master's House will be a 2 bed home, with private garden to the north and west.

St Michael's Chapel will be a 1 bed home, with planted external space around its perimeter.

The frontage on Saltisford Road will incorporate a shared garden with soft landscaping for use by all new residents. The footpath through the site will be tarmac, with natural stone paving leading to the Chapel and Master's House entrances.

Towards the rear of the Master's House there will be a small residents car park with electric vehicle charging point, covered cycle storage, bin stores and soft landscaping.

The new apartment building will be fronted by stepped and ramped access. This building will occupy the currently vacant and neglected northern part of the site and provide 1 bed apartments over 3 floors. This building is positioned behind the Master's House, allowing the listed assets to be the focal features of the site when viewed from Saltisford Road.

All the new homes, both in the converted listed buildings and the new apartment building, will provide affordable rented accommodation, managed by Platform Housing Group.



Land Use Plan - NTS

4.3 Amount and Building Layouts

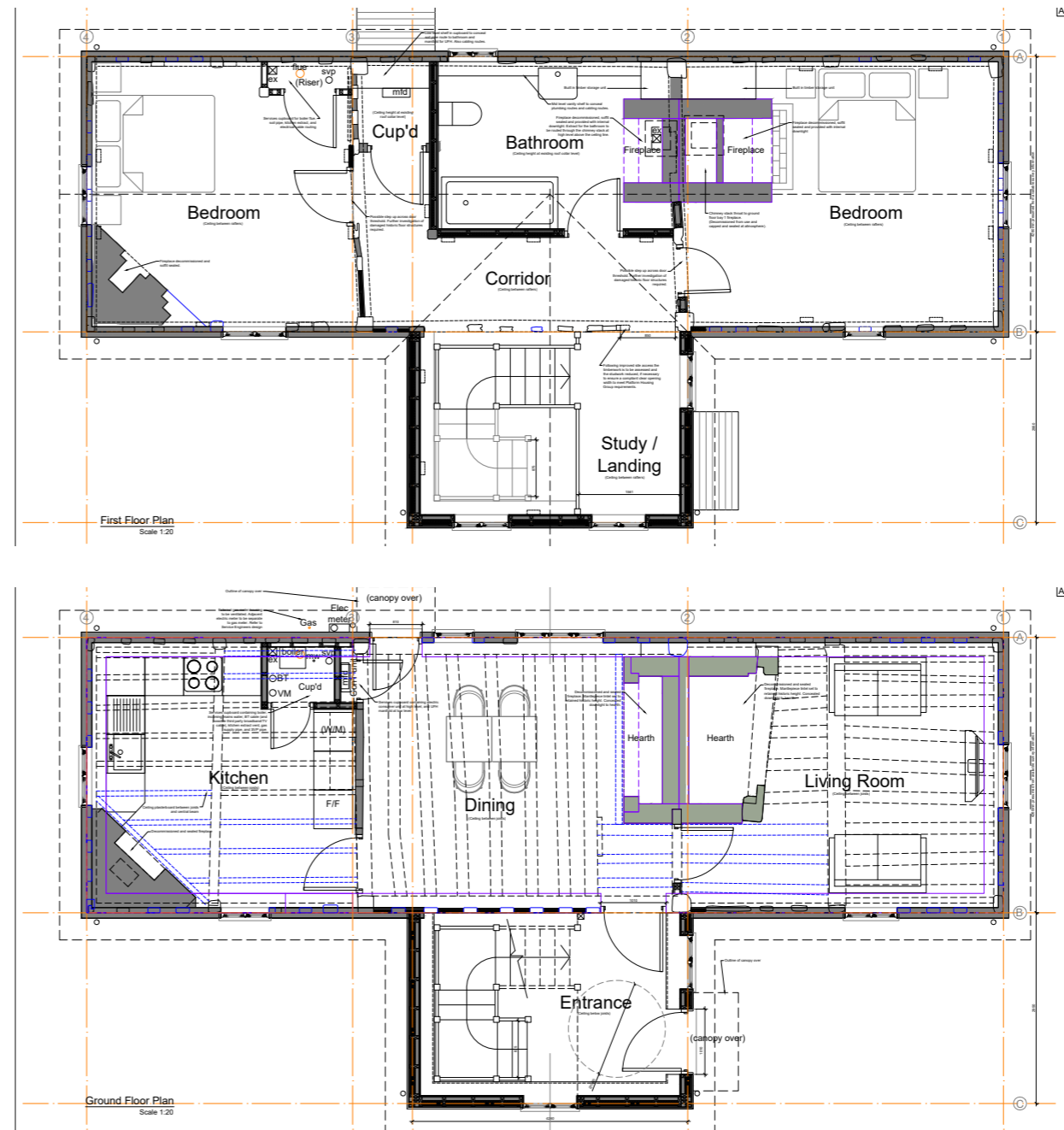
Master's House Conversion

Master's House will become a two bed family house. Family living spaces are at ground floor; with the three bays of the structure utilised as a kitchen, dining room and living room. At first floor the central bay provides a bathroom and access to the two side bays, each providing a bedroom. As a family house the Master's House requires a private garden space which is sensitively integrated into the site plan design.

The south wing lean-to is being taken down as it's considered a later and cruder addition to the property that is extremely degraded and hinders the design strategy to reuse the property. Its footprint is reused as the position for a new stairway wing connecting both floors avoiding the need to cut out the surviving floor joists and beams of the main house. Also minimising impact on the Scheduled Monument by reusing the footprint. An additional benefit of the south wing landing is that during significant flood conditions there will be some dry space to store ground level possessions. The new wing gable width and height will be identical with the existing main structure's gables, this will create an agreeable relationship between new and existing mass.

To reuse the property a new staircase is required that can safely provide emergency egress and allow for furniture delivery access to the higher levels. The three existing bays of the property all have the partial remains of staircases that are too narrow and steep for modern use by social housing. It is considered that they would not provide safe egress in an emergency.

Services will be introduced through the northeast elevation of bay 3 to consolidate disruptive work in just one location and ensure a cohesive, discreet and integrated strategy for services stems from one point of entry and not multiple invasive openings. The rooftop outlets for the services will therefore not be visible from Saltisford road. The bathroom extract may reuse the rebuilt redundant chimney stack flue outlet. The property will utilise wet underfloor heating to avoid unsightly radiators and plumbing, and the risk of thermal movement caused by a non-uniform heat load across wall frames. Services and plant will be contained within risers and cupboards designed in. The bathroom will be ceilinged at rafter collar level allowing a horizontal riser void to run between bays 1 and 3, this void will also conceal some roof terminal duct routes.



Master's House Proposed Floor Plans - NTS

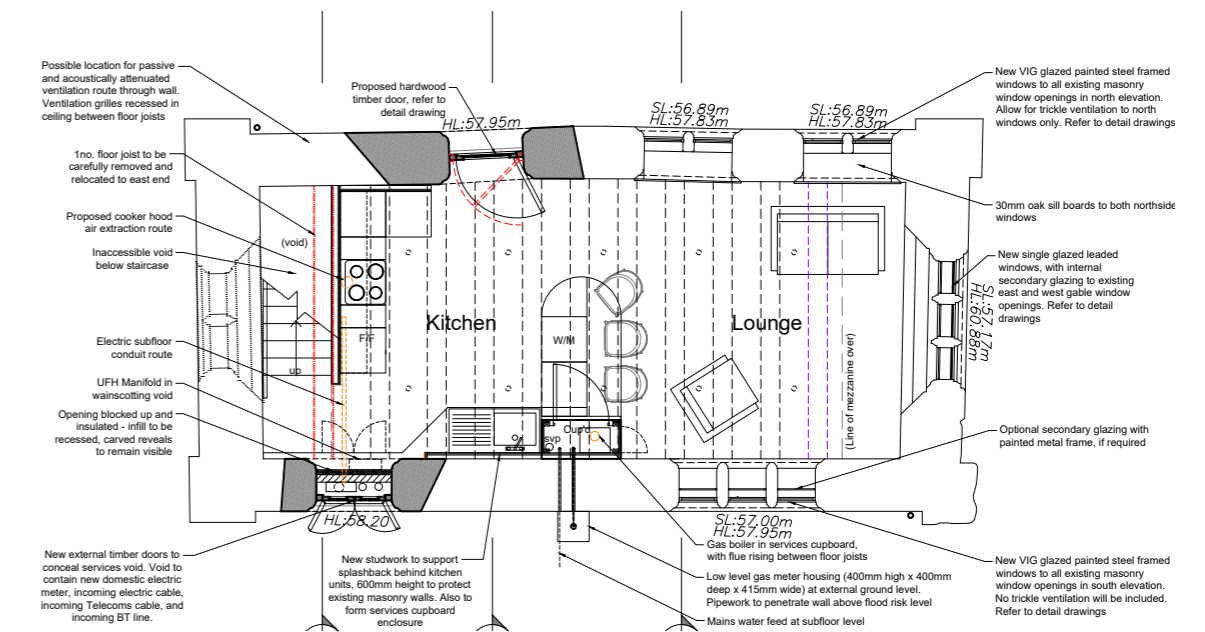
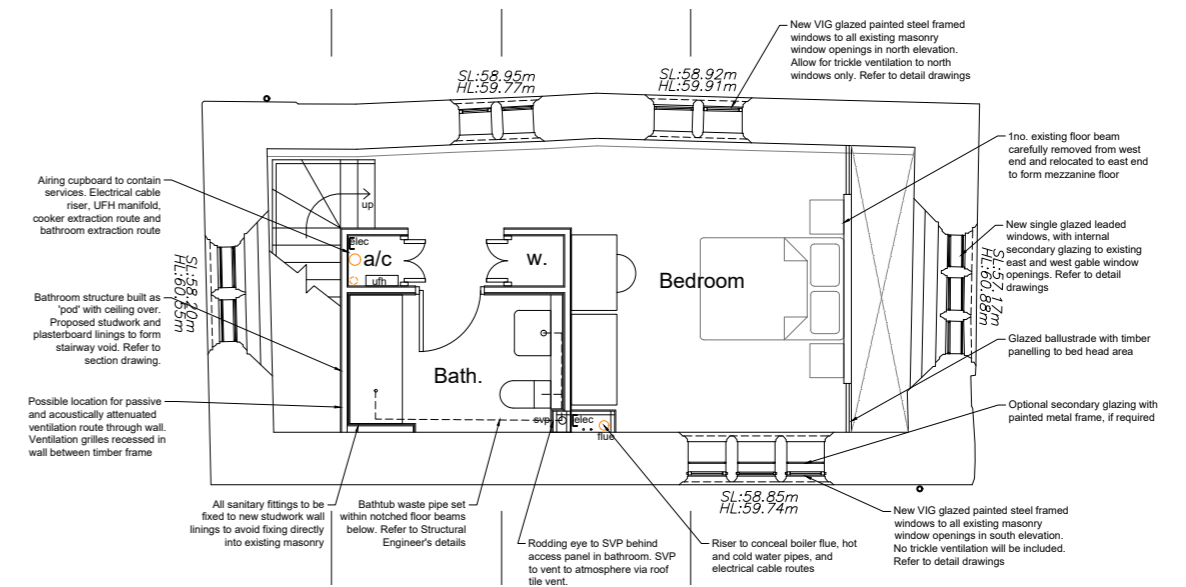
St Michael's Chapel Conversion

The Chapel is to be converted to a single 1 bedroom dwelling, with open plan kitchen/living room at ground floor and bathroom and bedroom at first floor.

The bathroom is designed as a self-contained pod that incorporates and conceals services routes from the ground floor and to the roof

A new staircase will be installed at the west end to provide access to first floor and allow the west gable window to be uninterrupted by the floor slab.

The bedroom incorporates a mezzanine to pull the first floor away from the east window so that the height of the space and the window can be appreciated from the ground floor.



St Michael's Chapel Proposed Floor Plans - NTS

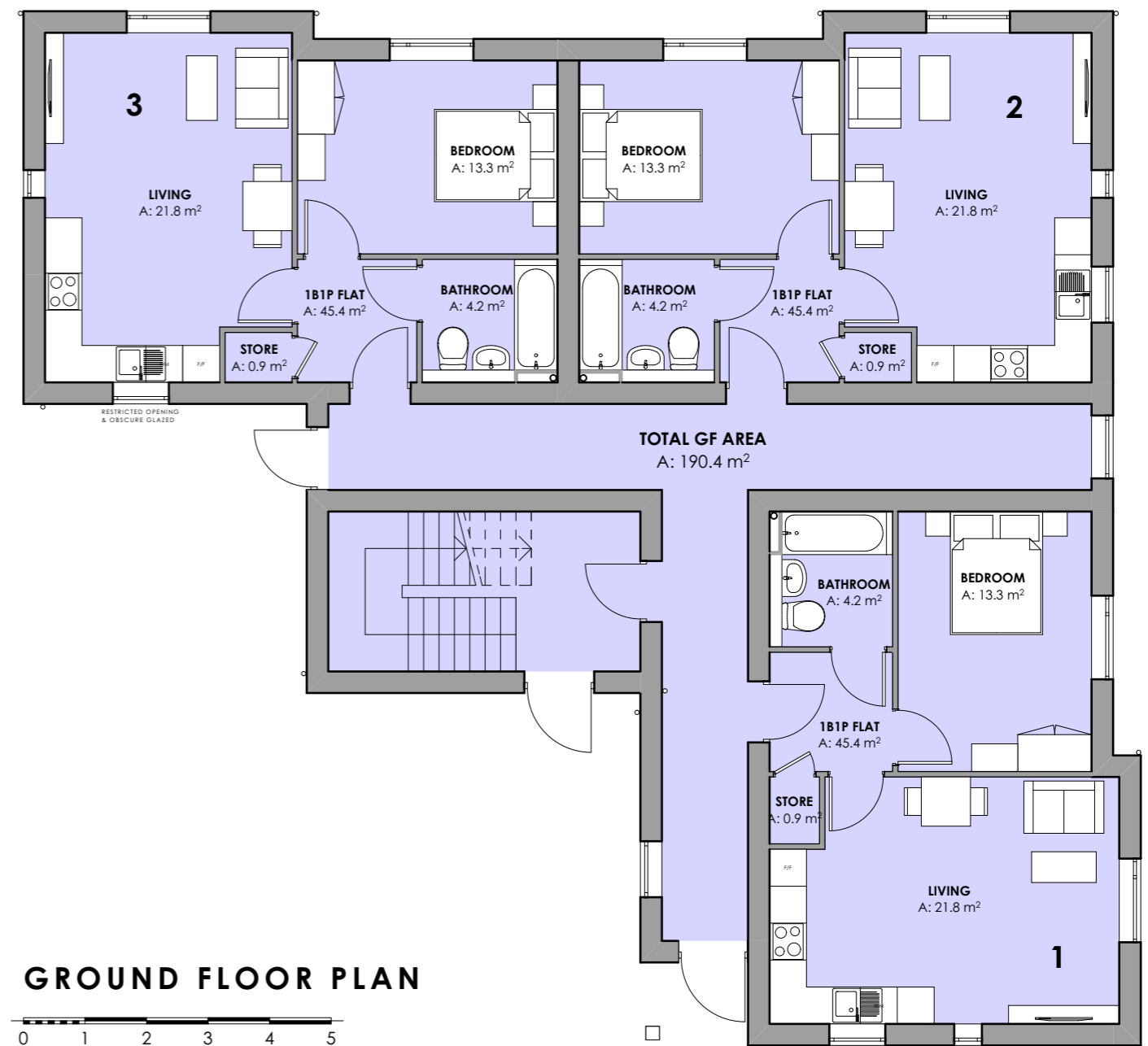
New Apartment Building

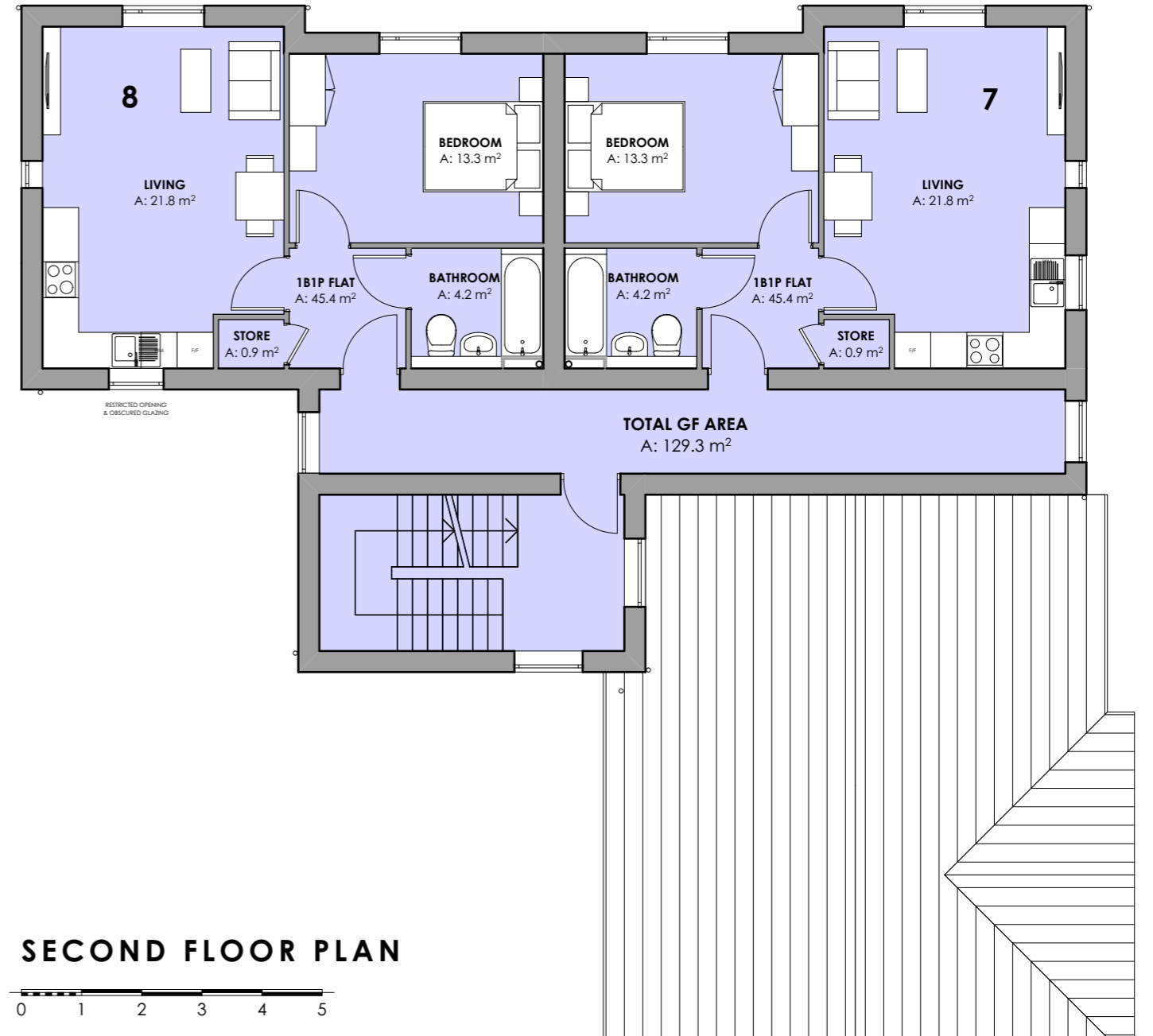
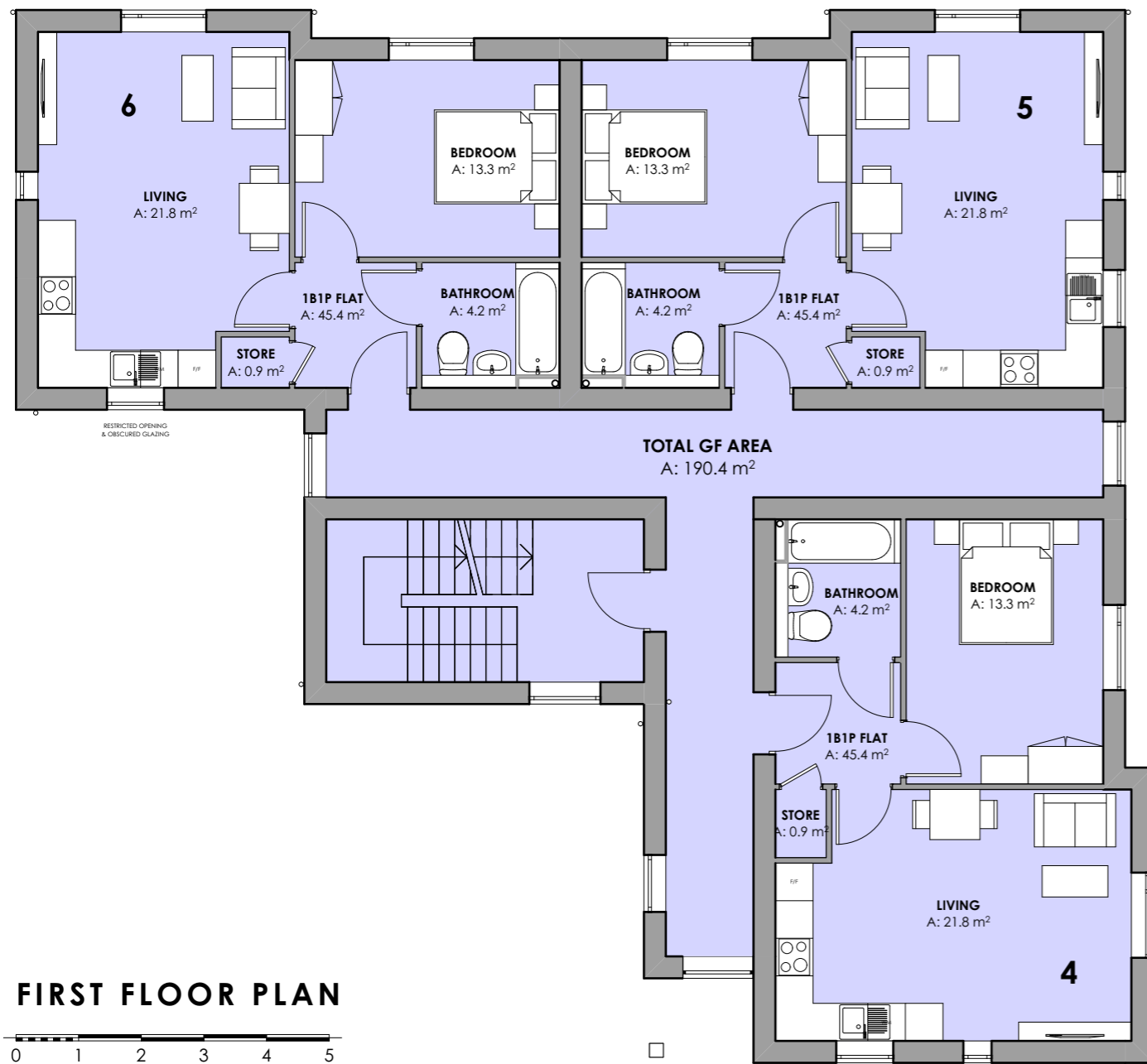
The apartment building will provide 8 no. 1 bedroom 2 person apartments, all served by a communal entrance, circulation and a single staircase.

The main access to the building is located on the southern side, with direct access from the landscaped parking courtyard, via a stepped and ramped approach.

The circulation forms a 'T' shape within the building, with windows and glazed doors at the ends of the corridor circulation, to provide daylight into and views through these areas. The single staircase, which serves all 3 floors, is located in the internal corner of the building, to ensure that travel distances are minimised for residents.

The ground and first floors each accommodate 3 apartments, 4 of which primarily face north and 2 of which face to the east. The second floor accommodates a further 2 apartments which again face to the north. Each of the apartments is 45.5m² and contains a contemporary open plan living/kitchen/dining room, a double bedroom, a bathroom and a store.





4.4 Scale & Appearance

Master's House Conversion

Internal

The new staircase wing will match the existing gables in height, width and pitch to ensure a uniformity to the massing and roofline, as requested by Historic England. It is not possible to lower the new south wing roof as this will frustrate headheight access across the first floor landing that must navigate around existing studwork and allow a 850mm clear opening width. Another reason for the south wing landing is to provide flood resilience and relief storage space for a family during a flood event.

The timber frame will be externally insulated as this is recognised to present less issues regarding construction and conservation. Risks such as condensation, and maintenance access are better resolved. It is an approach understood and generally favoured by Historic England, as outlined in their guidance document on insulating timber framed buildings. It will provide a superior U-value and allow for the insulation to be clad by a breathable oak cladding wall buildup. The roof will also be externally insulated to provide a superior U value with a breathable construction buildup that also minimises condensation risks to the historic timbers. For this reason the timber framing will remain visible and appreciated to internal view. Lime plastering will be set between studwork and between rafts and posts to allow the timber frame to be appreciated internally.

External

The plinth is to be repaired to its full perimeter and may be dry line insulated with a breathable 'wainscoting' buildup that reduces the masonry cold bridge risk. The ground slab will be a breathable limecrete slab to assist with flood resilience measures. Two redundant ground level doorways will be blocked up in breathable masonry to match. A new front door will be in the new south wing and a 1010mm structural opening into bay 2 will allow disabled access to the ground floor. A historic door will be reopened from bay 2 to the northeast to facilitate access to the private garden and binstore gate.

The timber frame structure is to be conserved in line with the structural engineers' methodology. Archival photos have been used to justify the reintroduction of missing structural timber members, doors and windows in confirmed historic locations where timber members are currently missing or fallen. Repairs will be undertaken to the structure.

The eaves and overhang of the gable ends will be extended to provide a more suitable cover depth to protect the walls, given the walls and roof are insulated externally this will require one or two window openings to be lowered slightly to allow the casements to remain side hung.

The new windows will be vacuum insulated glass (VIG) units within a W20 Crittal painted steel frame that sits within oak window frames. Any surviving timber diamond mullions will be retained where they will not frustrate the safe use of the windows. The VIG glazing will allow the windows to achieve superior U values and acoustic attenuation. The doors will be oak planked.

The breathable and permeable wall construction proposed will also assist in the flood resilience measures, as the risk level goes above the masonry plinth. Any flooded building fabric will need the inherent ability to dry out following floods.

The original masonry chimney stack between bay 1 and 2 has been identified and will be reconstructed in like for like materials. The mantelpiece lintel will be raised at ground floor in bay 2 to suit a range at head height as this is more practical and no original information survives. At first floor the fireplace/chimney stack will be reconstructed based on available archival evidence.

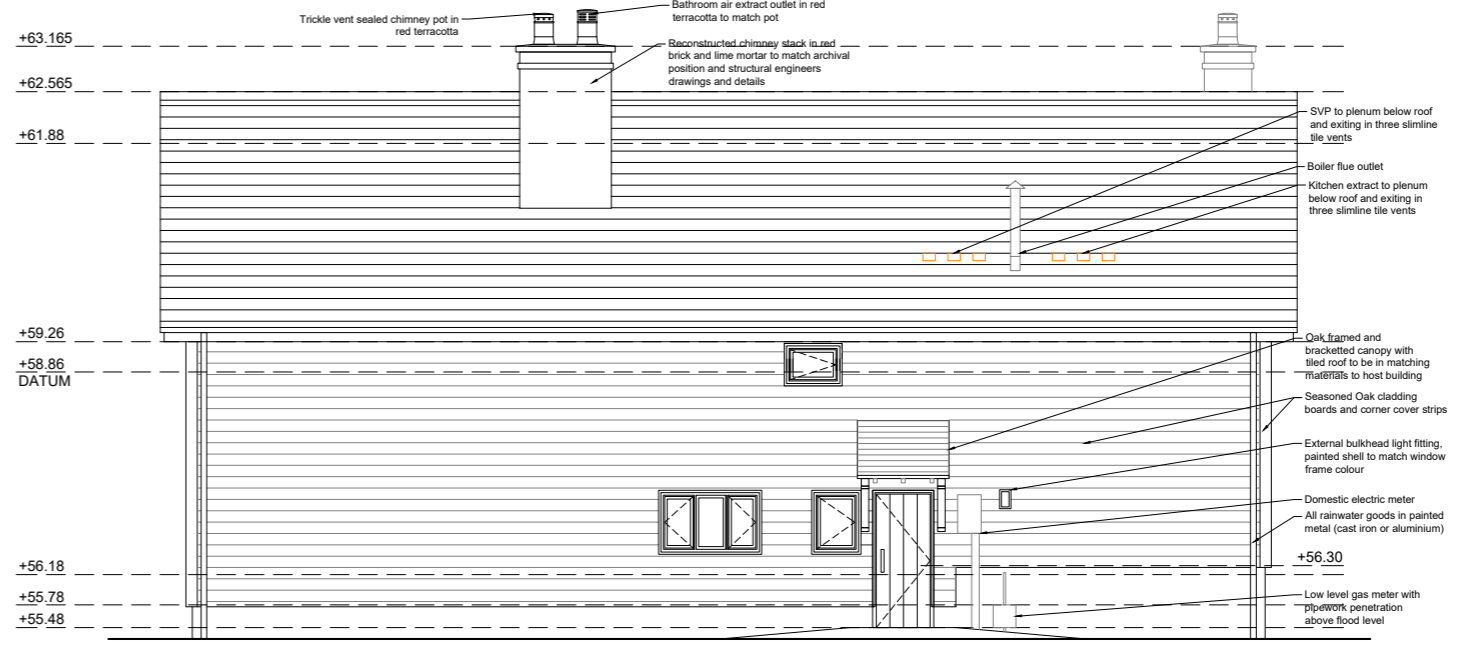
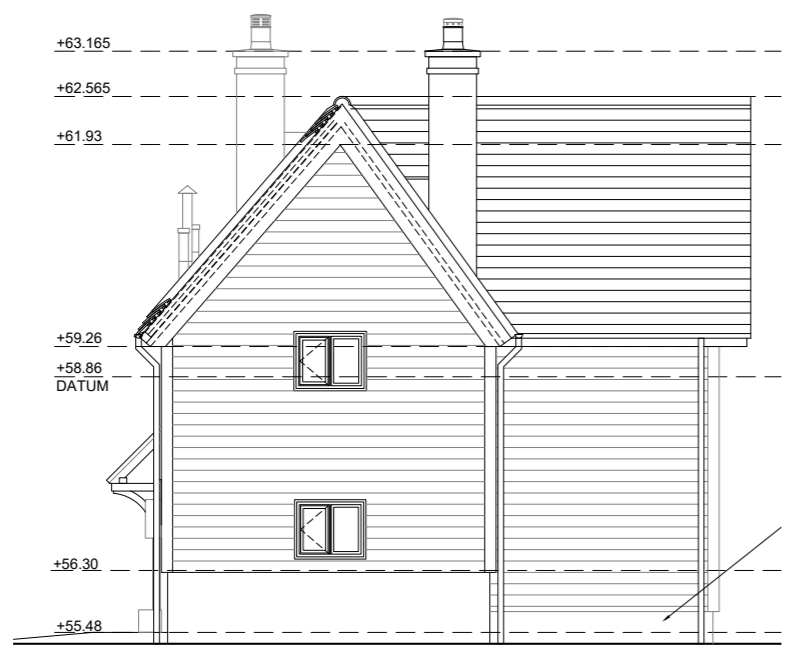
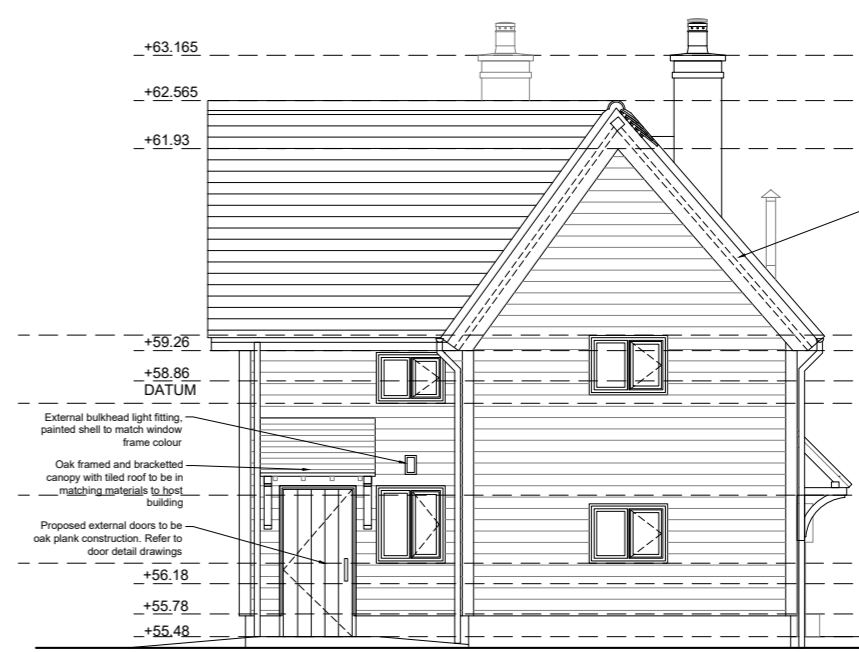
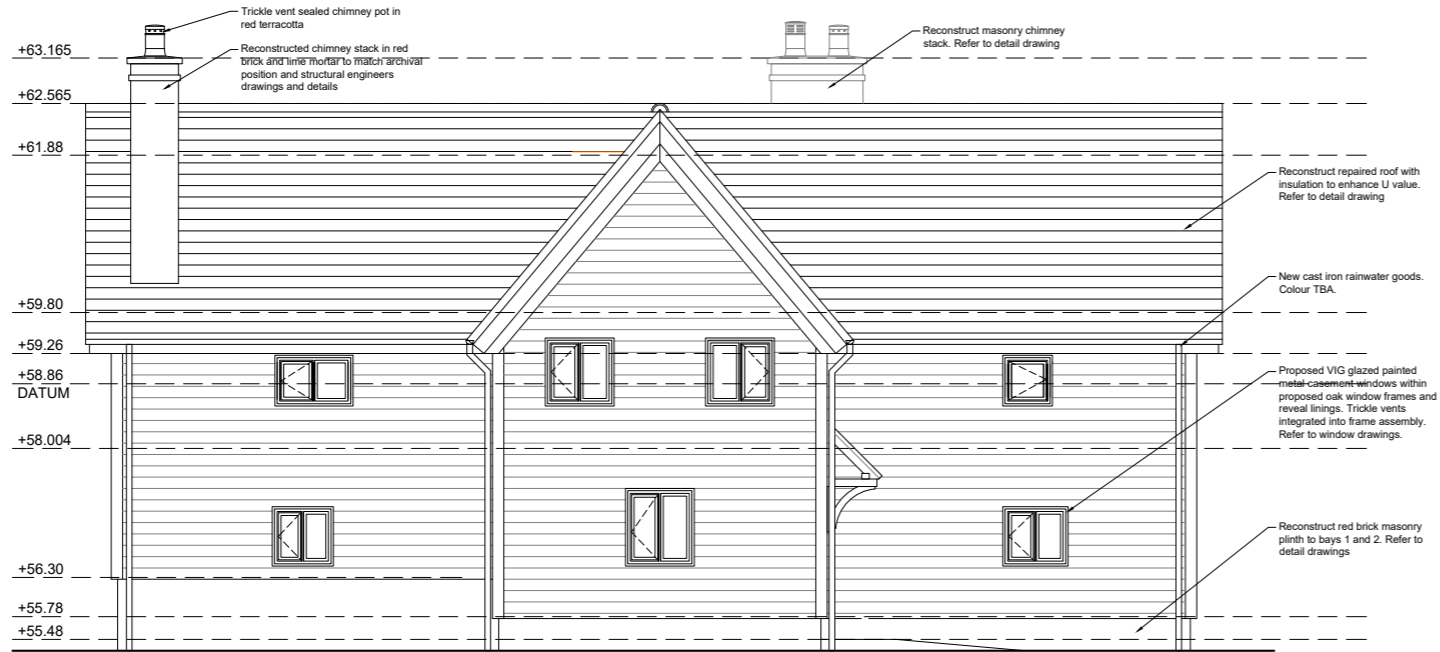
It is proposed that like for like materials for the re-roofing will be used. Existing tiles are predominantly Rosemary Red clay tiles, a mix of handmade and late machine made tiles. This is to be salvaged reclaim handmade files that retain enough lifespan, where possible, and new handmade clay tiles to match.

Doorways will be partially protected with small lean to porticos in appropriate matching materials.

The new south wing materials will appear the same externally with a brickwork plinth, and oak cladding.



Existing Tiles on the Master's House



Master's House - Proposed Elevations



Artist Impressions of the site - views from Saltisford Road

St Michael's Chapel Conversion

Internal

The first floor joist beams are not original to the property, however these will be retained and remain visible below the new plaster ceiling. One of the joists is being relocated to allow sufficient width for the staircase installation.

To allow the bathtub drainage to reach the SVP 4no. existing floor beams will be notched to allow the falls required to connect the plumbing.

The ground slab will be a breathable insulated limecrete slab to assist with the flood resilience measures and the nature of the existing breathable fabric. The proposed finished floor level will match the existing slab level on site.

External

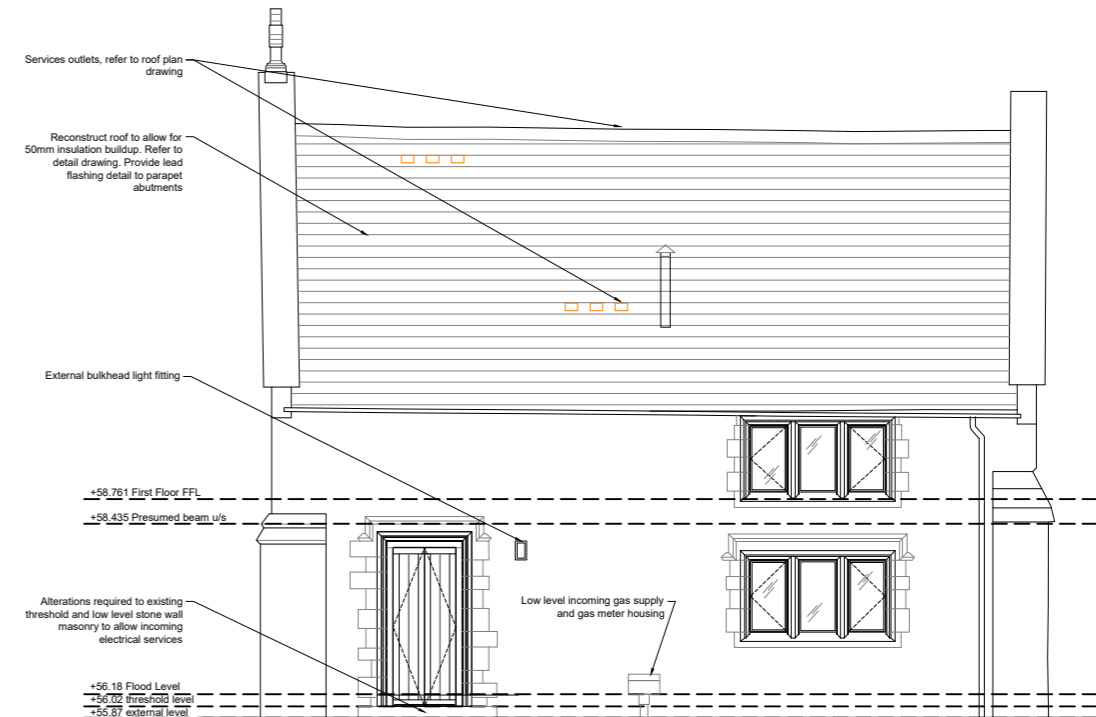
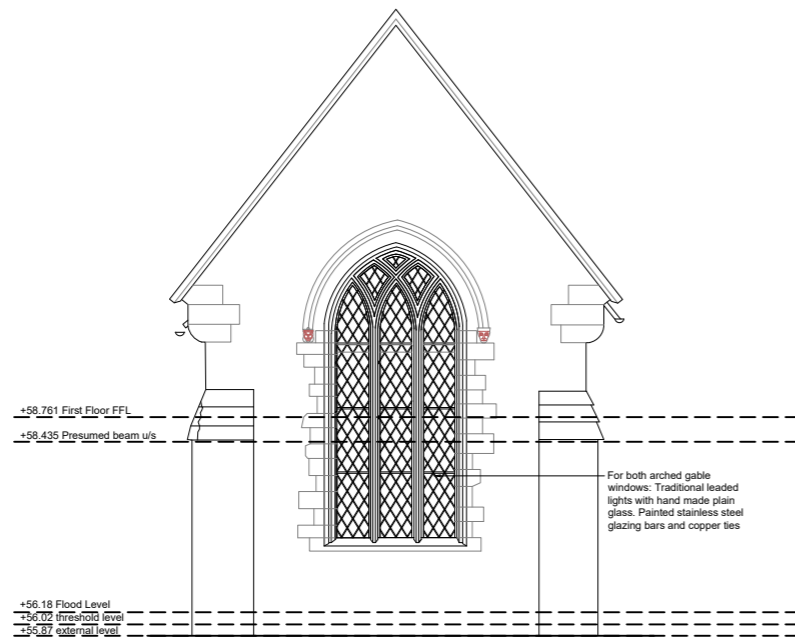
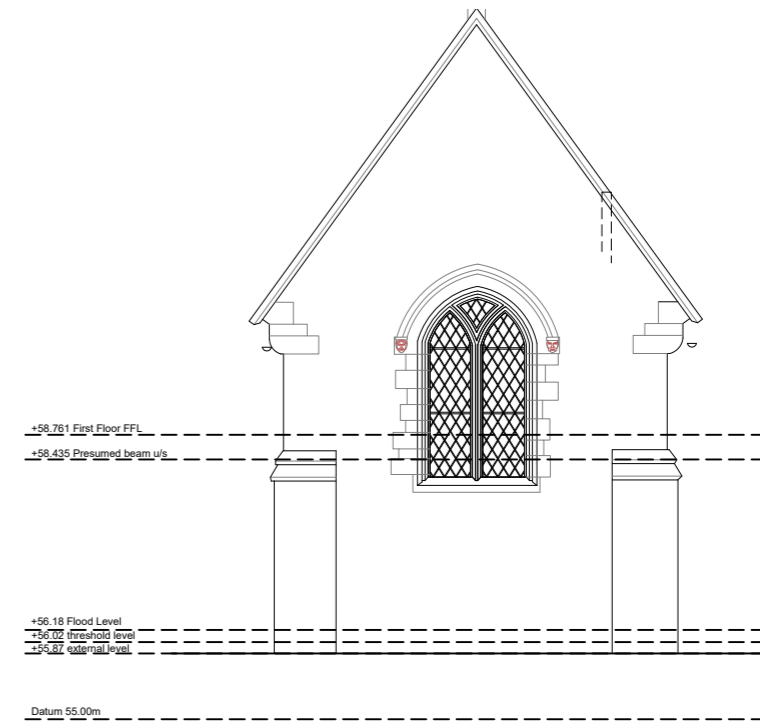
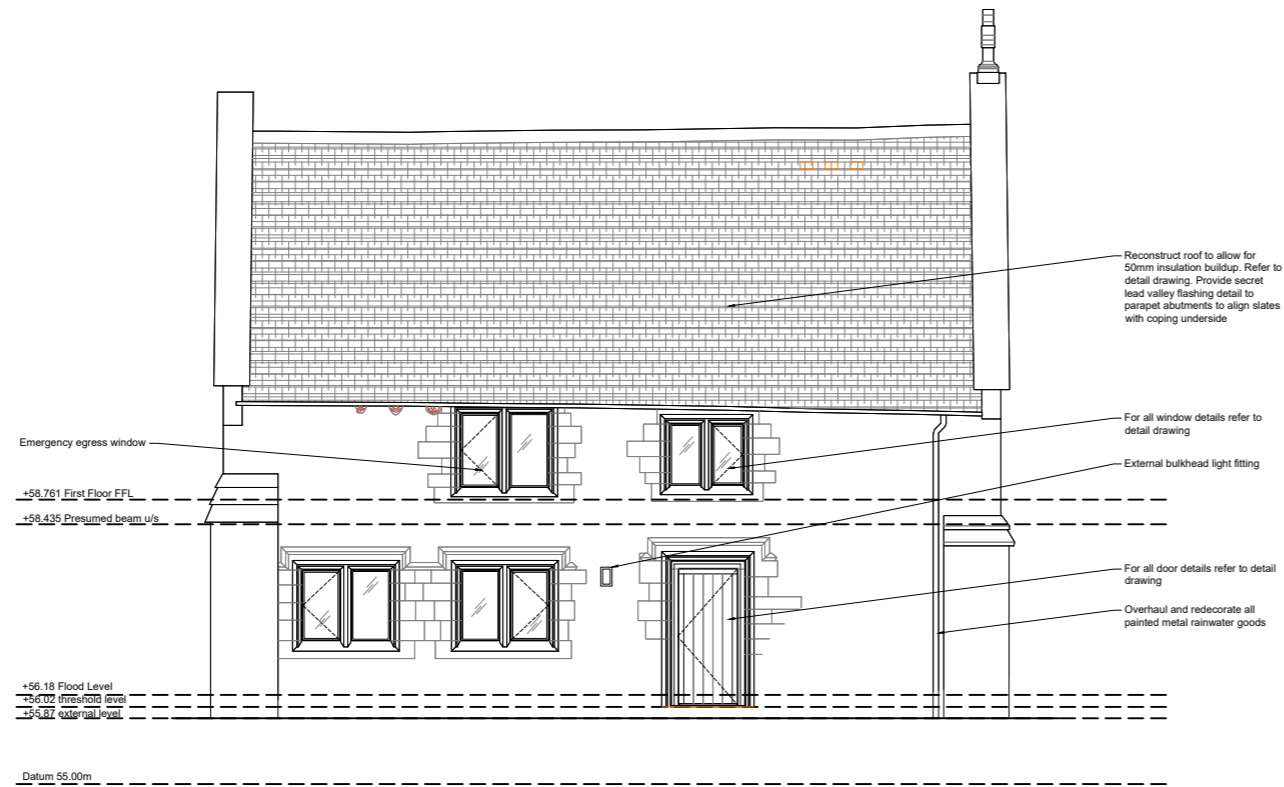
The long elevation windows are W20 Crittal painted steel frame casements with VIG glazing by LandVac that achieves better U-values and acoustic sound reduction ratings to meet the required criteria by the busier road elevation during daytime. The gable end ecclesiastical windows will be repaired in lead camed quarries and a sliding secondary glazing system will provide the sound reduction required.

The roof will be raised 50mm to allow for external breathable insulation across the face of the rafters. This is to improve the U value and control condensation risks to the timbers. Additional insulation will be placed between the roof rafters to further boost the U value and expose the roof structure internally. Where the roof tiles become raised closer to the underside of the parapet coping stones, the lead parapet flashings will manage rainwater by employing a secret lead valley detail.

Doors will be planked oak. The door facing Saltisford Road will contain an externally accessed cupboard for services and meters. Both doors will use the existing threshold level to set the internal floor levels, the surrounding ground will then be dug back down to ensure a 150mm drop across the threshold.

Any roof air outlets/vents will be designed to be as minimal and discreet as possible. Tile vents and ridge vents will be preferred over pop up cowls. Detailed service design and further high level access and examination of the built fabric will be required to confirm final proposals.

The wall masonry is in sound condition and will be retained. The only intervention will be for introducing essential services at low level.



St Michael's Chapel - Proposed Elevations

New Apartment Building

Scale

The new apartment building is located in the northern part of the site and is approached through the parking courtyard. The building sits behind a landscaping zone and is set on a raised table, in response to the outcome of discussion with the Environment Agency. The purpose of elevating the building is to ensure that both the integrity of the flood plain is not incumbered by the new building and to mitigate against the flood risk to the building itself. The floor level of the new building is set using the worst-case scenario identified in the Flood Risk Assessment, being 600mm above the 100-year (with 35% climate change) projected flood level.

The building is part 2 storey to the south, where it is in closest proximity to the Master's House and rises to 3 storeys along the northern side, creating a robust elevation to this boundary, looking north towards the railway.

The building has a series of varying size gables on all elevations, to create vibrant and articulated elevations to all façades.

The 40-degree pitched roof, unifies the various parts of the building, articulating a progressive increase in scale away for the historic building towards the northern boundary.

Appearance

The new apartment building has been designed as a contemporary and distinctive intervention on the site, creating a complementary architectural language to the existing Master's House and Chapel buildings.

The two-storey element of the building presents a main gable to the south, which accommodates the main entrance to the building at ground floor level. The entrance door is cut back and is set within a full height glazed vertical slot, with a two-storey timber post supporting the corner of the roof.

This gable is fully clad in vertical timber boarding and has two square and two vertical slot, black framed windows facing towards the parking courtyard. A secondary 3 storey gable, which is set back and to the west, accommodates the main stair and is full height red brickwork. The stair tower has square, black framed windows at first and second floor, smaller square window on the western face to the half landings and a glazed door at ground floor for egress.

The eastern and north façades provide the main elevations for the apartments, each of which have full height bedroom and living room windows on these elevations, to maximise daylighting into these spaces. There are secondary smaller windows into the kitchen and dining areas of the apartments on the gable and rear elevations, to provide additional views and daylighting. The small kitchen windows in the rear elevation of plots 3, 6 and 8, will have restricted opening and will have obscured glazing, to prevent any potential direct overlooking from habitable rooms into the rear gardens of the houses that front onto Saltisford to the west of the site.

The east and west facing façades are a mix of red brick and horizontal timber boarding, again with square and vertical slot black framed windows which provide daylighting into the end of the circulation corridors as well as into the kitchen and dining area of the apartments. The rear north facing elevation is all red brick, with a projecting gable at each end.



The rear and side boundaries of the site adjacent to the apartment building will be 1800mm high close board timber fencing as indicated on the site plan. This will be complimented by new landscaping, lawn and tree planting.

Materials

The apartment building proposes the use a limited and restrained pallet of materials which includes timber boarding and red brickwork to make a direct complementary reference to the works proposed to the Master's House.

The timber boarding proposed will be treated and seasoned Oak in a mainly vertical configuration on the main entrance gable and horizontal configuration elsewhere.

A red stock brick will be chosen to match, as far as possible, the existing brickwork plinth to the Master's House, which is to be re-constructed and to complement the brickwork of the Victorian terraced houses and more recent church building on Saltisford.

A plain roof tile is proposed to again reflect the roof finish to the Master's House and the Chapel, but in a dark grey colour finish to create a contrast between the new building and the existing buildings on the site.

The contemporary and elegant fenestration design will utilise black powder coated aluminium door and window frames, re-enforcing the concept and intention for a modern intervention within this historic setting.

Slim section black powder coated aluminium fascia's and soffits will be used with black cast iron effect circular rainwater pipes and gutters.

The open metal grillage around the raised plinth to the side and rear of the apartments will have a black finish.

The walls to the entrance steps and ramp will utilise the same red stock brick as the building. The balustrading to the steps, entrance ramp and open deck walkway will have clear glazed panels set in stainless-steel framing and handrail.



New Apartments - Proposed Front Elevation



New Apartments - Proposed Side Elevation



New Apartments - Proposed Rear Elevation



New Apartments - Proposed Side Elevation

4.5 Landscape

General soft landscaping will be grass with wild flower meadow borders, providing enhanced wildlife habitat. There are to be no invasive root plant species over the Scheduled Ancient Monument. New native tree and shrub planting will enhance shared external gardens and offset the loss of existing trees.

The bike store, bin store, ramp and electric vehicle charging point are all being discreetly located to the rear of the site and will be further screened by foliage of new shrub planting to soften their visual impact on the setting of the Master's House.

Hard landscaping will be tarmac and natural stone paving.

Any external lighting will be provided by discreet ground lighting ideally set to a timer and following the pathway route from Saltisford Rd to the new apartment building, to provide a safe, well lit pedestrian route through the site whilst having minimal impact on the site's historic setting.

The Chapel's position in the site is softened and partially defended by low lying shrubs around its perimeter in triangular gravelled borders.



Proposed Site Plan - NTS

4.6 Access

Pedestrian

Pedestrian access to each the Chapel, Master's House and apartments is provided from Saltisford Road via a new pedestrian route through the site. The external areas are to be landscaped to provide an attractive and safe route through for occupants and visitors, with ground lights providing a clear route through to all buildings.

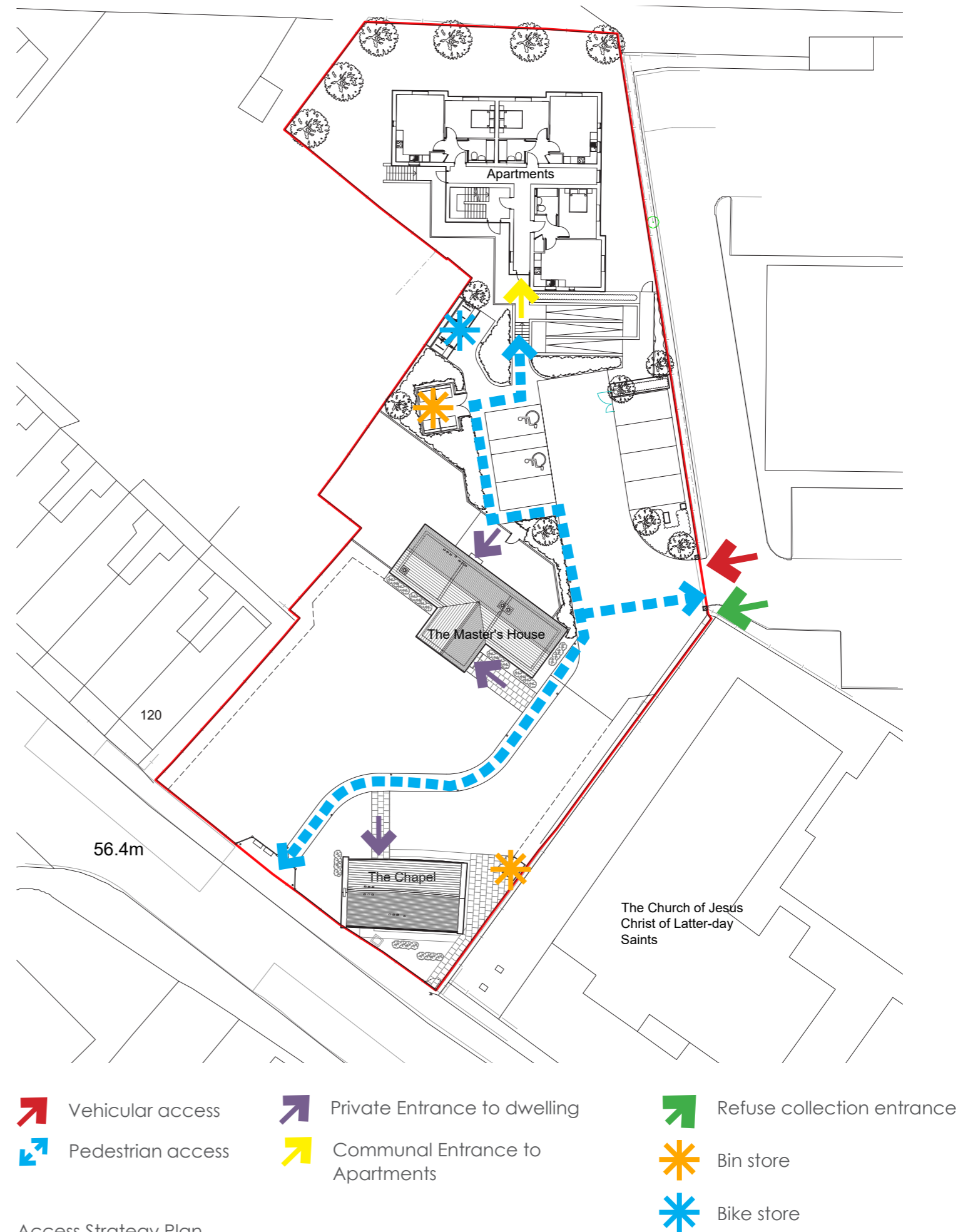
The apartments are provided with both stepped and ramped access to ensure they are accessible to all.

Vehicle

The site is in a very sustainable location, within walking and cycling distance of key local amenities, train and bus links. As such it is not expected that all new residents will require the use of a car.

Car parking is provided to the rear of the site, in the least visually prominent location so as to safeguard the setting of the listed buildings when viewed from Saltisford Road. Vehicle access to the car park will be via the adjacent WCC office car park accessed off Ansell Way (note, legal access rights here have been maintained). An electric vehicle charging point (EVCP) is provided to help improve air quality by encouraging the facilitation of electric cars and sustainable transport.

The use of bicycles is encouraged through the provision of covered cycle storage.



Access Strategy Plan

4.7 Services Strategy and Energy Strategy

(refer to separate Mechanical & Electrical Strategy Briefing by RCD)

The below ground services are designed to minimise impact and disruption to the below ground SAM by combining them in just one trench that will service the Master's House and apartment building and keep trenching to the periphery of the SAM boundary as much as possible.

Alternative below ground service trench routes have been explored, even across neighbouring land, however legal rights and issues have precluded them as viable options.

The design of below ground works for St Michael's Chapel will draw its services directly from the closeby Saltisford Road. Where gas and water are brought in through the masonry wall it will be at low level and above the flood risk level. A south side redundant doorway will be repurposed discreetly as an externally accessed electrical meter cabinet. Electrical and telecoms cabling will be introduced to the cabinet and may require some minor alteration of the doorway threshold slab stonework to allow the cable entry.

The Chapel and Master's House properties are both to be heated by gas boilers. These will require roof top flue vents that clear the tile pitch face by 400mm to meet current regulations.

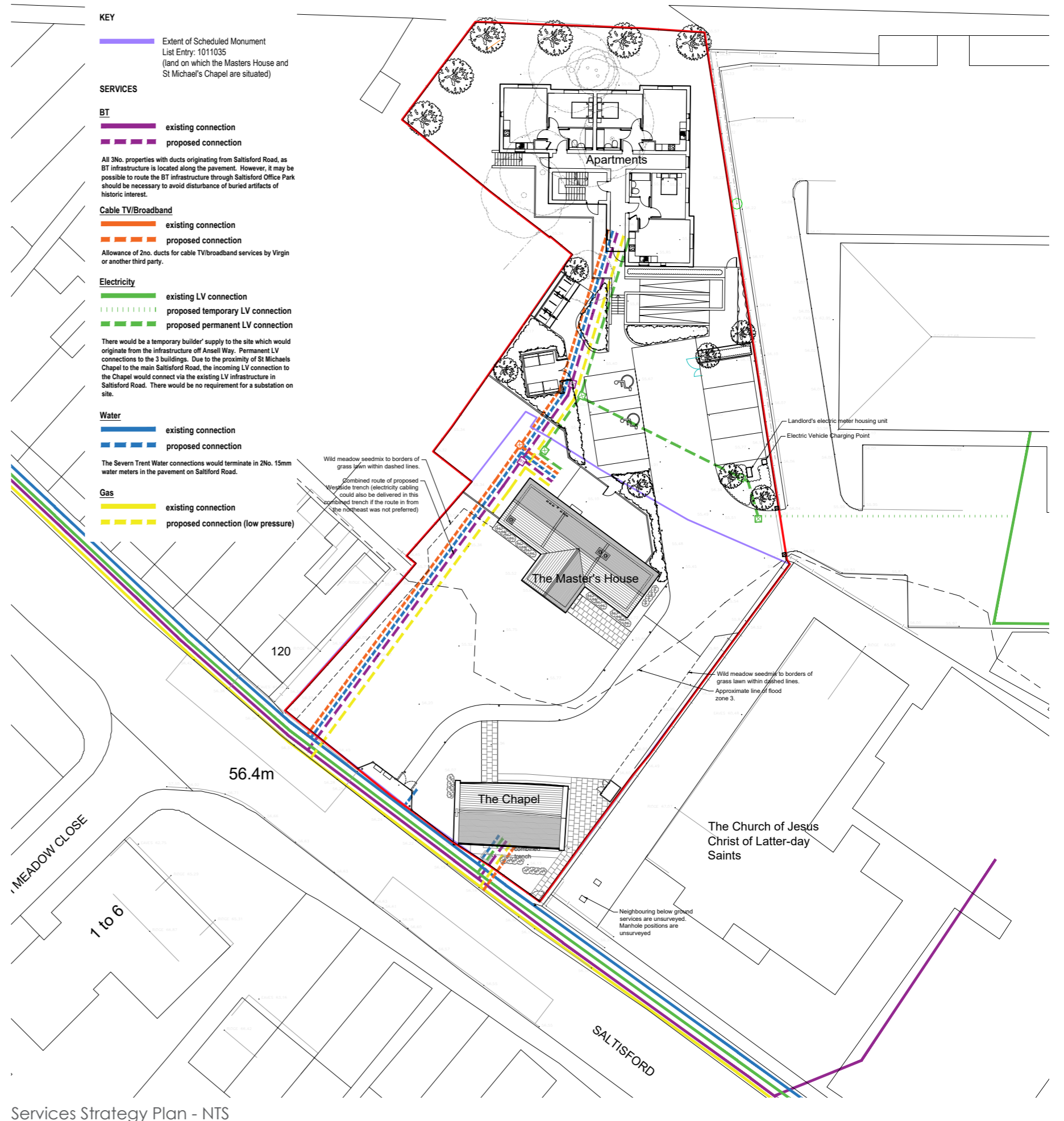
For the new build apartment building thermal efficiency will be maximised through a 'fabric first' approach with all of the dwellings improving upon current Building Regulations requirements with regards to the dwelling emission rate (DER) over the target emission rate (TER).

Each of the new apartments will have an independent heating and hot water system, utilising a high efficiency condensing combi gas boiler located in the kitchen area. This will be complemented with a low energy decentralised mechanical ventilation system (dMEV) which will ensure that the apartments have adequate ventilation and ensure no overheating in summer months.

Low energy LED lighting will be used throughout and this will be PIR controlled in all the circulation areas and by external entrances.

The surface water drainage for Master's House and St Michael's Chapel will employ soakaway design and reuses the locations of trenches dug in 2004 for pipe runs and soakaway apparatus. By reusing these pre-dug trenches it will lessen the demand to dig new trenching that may have a more significant impact on the SAM.

The foul drainage will require deep trenches to achieve the gravity falls required from the apartment building to Saltisford Road, the final proposals will need further development once the site investigations are underway and the input of Historic England archaeologist can be gauged.



5. Design Appraisal

Context

Aim

The proposals should:

- be based on a sound understanding of the features of the site and the surrounding context. Using baseline studies as a starting point for design;
- integrate into their surroundings so they relate well to them;
- be influenced by and influence their context positively; and
- respond to local history, culture and heritage.

Achievement

The scheme for the site will:

- The proposals have been drawn up following specialist site investigation and have been developed in consultation with specialist to ensure they respond appropriately to the conditions of the site;
- A key aim of the scheme is to improve the site's appearance on Saltisford Road and safeguard its heritage assets. Currently the derelict site detracts from the street scene. The proposals will repair the historic buildings to bring them back into use and incorporate a large area of landscaping. These will provide attractive features within the Saltisford area and provide interpretation of the history of the site in the context of Warwick's development;
- The proposals avoid a continuous frontage seen along Saltisford road, the open site frontage will serve to give it a prominence to the site as one of historical significance;
- The new apartment building is positioned to allow the historic buildings to remain the most prominent feature, and also respond to them by incorporating similar materials in a contemporary form.

Identity

Aim

The proposals should:

- have a positive and coherent identity that everyone can identify with, including residents and local communities, so contributing towards health and well-being, inclusion and cohesion;
- have a character that suits the context, its history, how we live today and how we are likely to live in the future; and
- be visually attractive, to delight their occupants and other users.

Achievement

The scheme for the site:

- The proposals aim to build on the site's historic identity, known by many local residents to have been a derelict curiosity for some time. The proposals will allow the site to become an attractive part of the local area, with a distinct character of its own which tells the story of the site's long history, dated back to long before the emergence of the surrounding development.

Built Form

Aim

The proposals should:

- have compact forms of development that are walkable, contributing positively to well-being and placemaking;
- be accessible to local public transport, services and facilities, to ensure sustainable development;
- be recognisable streets and other spaces with their edges defined by buildings, making it easy for anyone to find their way around, and promoting safety and accessibility; and
- have memorable features or groupings of buildings, spaces, uses or activities that create a sense of place, promoting inclusion and cohesion.

Achievement

The scheme for the site:

- The site is fortunate to already be occupied by 2 very distinct buildings, The Master's House and St Michael's Chapel. The new build apartment does not shy away from being contemporary and different from these historic buildings. Rather than being a pastiche the new building will be an attractive feature in its own right, providing a place that people are proud to come home to.

Movement

Aim

The proposals should:

- be safe and accessible for all;
- function efficiently to get everyone around, take account of the diverse needs of all its potential users and provide a genuine choice of sustainable transport modes;
- limit the impacts of car use by prioritising and encouraging walking, cycling and public transport, mitigating impacts and identifying opportunities to improve air quality;
- promote activity and social interaction, contributing to health, well-being, accessibility and inclusion; and
- incorporate green infrastructure, including street trees to soften the impact of car parking, help improve air quality and contribute to biodiversity.

Achievement

The scheme for the site:

- The site itself is compact, with all new dwellings being provided with pedestrian and cycle access off Saltisford Road, residents of the apartments need not navigate the adjacent office development, but are able to take a short walk through the communal gardens to their home;
- The proposals encourage use of public transport, walking and cycling, through covered bicycle parking provision and limited car parking provision.
- The site's location enables this, with bus stops immediately outside the site providing quick transport to the town, train stations and a range of local facilities within walking distance;
- The landscaping will help provide a pleasant route through the site, the overlooking new dwellings providing natural surveillance and a sense of security.

Nature

Aim

The proposals should:

- integrate existing, and incorporate new natural features into a multifunctional network that supports quality of place, biodiversity and water management, and addresses climate change mitigation and resilience;
- prioritise nature so that diverse ecosystems can flourish to ensure a healthy natural environment that supports and enhances biodiversity;
- provide attractive open spaces in locations that are easy to access, with activities for all to enjoy, such as play, food production, recreation and sport, so as to encourage physical activity and promote health, well-being and social inclusion.

Achievement

The scheme for the site:

- The landscape proposals will provide enhanced biodiversity, with a range of native tree and shrub planting, as well incorporating features such as hedgehog passes so that garden fences do not become an obstacle to nature and bird and bat boxes to encourage a range of animal species to thrive;
- This landscaping will also provide attractive outdoor space with varied hard and soft surfaces and a variety of planting.

Public Space

Aim

The proposals should:

- include well-located public spaces that support a wide variety of activities and encourage social interaction, to promote health, well-being, social and civic inclusion;
- have a hierarchy of spaces that range from large and strategic to small and local spaces, including parks, squares, greens and pocket parks;
- have public spaces that feel safe, secure and attractive for all to use; and
- have trees and other planting within public spaces for people to enjoy, whilst also providing shading, and air quality and climate change mitigation.

Achievement

The scheme for the site:

- The shared garden is positioned to make use of the area of Scheduled Monument which cannot be built on, and also provides a strategic communal area for all residents, as all residents on foot or bicycle will regularly pass through this area as they leave and enter their homes. This will help promote interaction between neighbours and encourage them all to enjoy this communal space.

Uses

Aim

The proposals should have:

- a mix of uses including local services and facilities to support daily life;
- an integrated mix of housing tenures and types to suit people at all stages of life; and
- well-integrated housing and other facilities that are designed to be tenure neutral and socially inclusive.

Achievement

The scheme for the site:

- The proposals are well located close to existing local amenities to support the new residents;
- The housing provision responds to the local need for affordable, small family and single person homes. All the homes will provide quality accommodation regardless of tenure. The historic buildings will be converted to provide unique rental homes whilst the apartment building will provide attractive new rental homes.

Homes and Buildings

Aim

The proposals should:

- provide good quality internal and external environments for their users, promoting health and well-being;
- relate positively to the private, shared and public spaces around them, contributing to social interaction and inclusion; and
- resolve the details of operation and servicing so that they are unobtrusive and well-integrated into their neighbourhoods

Achievement

The scheme for the site:

- The external spaces are arranged so that the public and private spaces are easily recognisable and understood, providing a coherent route through the site;
- The refuse stores are positioned in less prominent positions whilst still remaining easily accessible;
- Services required for modern living, gas, electric, broadband, are all fed into the site by the shortest routes with the least disruption to the Scheduled Monument and historic buildings as possible. Service boxes and meters are positioned for ease of access whilst being appropriately concealed from view.

Resources

Aim

The proposals should:

- have a layout, form and mix of uses that reduces their resource requirement, including for land, energy and water;
- be fit for purpose and adaptable over time, reducing the need for redevelopment and unnecessary waste;
- use materials and adopt technologies to minimise their environmental impact.

Achievement

The scheme for the site:

- The proposals maximise the residential capacity of the site whilst taking into account the site constraints and wellbeing of future residents;
- The sustainable re-use of the existing structures has been carefully considered to ensure that services (electrical and gas installation) are positioned such that they can be easily accessed for maintenance and updating in the years to come, providing the buildings with further longevity. Existing building fabric will be retained where possible and efficient modern methods of heating installed.

Lifespan

Aim

The proposals should:

- be designed and planned for long-term stewardship by landowners, communities and local authorities from the earliest stages;
- be robust, easy to use and look after, and enable their users to establish a sense of ownership and belonging, ensuring places and buildings age gracefully;
- be adaptable to their users' changing needs and evolving technologies; and
- be well-managed and maintained by their users, owners, landlords and public agencies.

Achievement

The scheme for the site:

- Quality materials and robust construction techniques employed to give the conversions and new build apartments their aesthetic qualities will inherently give a long lasting finish;
- The proposals aim to convert the existing historic buildings into quality, unique homes which not only aim to save the structures in the short term but also aim to engender a sense of stewardship in the tenants and managers of this rental accommodation.

6. Summary

The proposals for the site will enable the Listed Buildings of Master's House and St Michael's Chapel to be repaired and re-used in a manner appropriate to their significance. The use of the entire site will also safeguard the long term future of both the Listed Buildings and the Scheduled Monument site of the Leper Hospital.

The conversion of the existing buildings and the construction of the new apartments will provide much needed varied and high quality affordable housing, in a sustainable location.

The proposals will enable this long derelict and poorly maintained site to once again form a key part of the street scene, viewed by so many along the key route into the town centre. The quality of the newly repaired buildings, new apartments and carefully landscaped shared garden will reflect the way in which the town values its heritage and importance placed on the provision of both high quality housing and shared external garden spaces for the enjoyment of all.

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