

My ref: PS/cg/W45649



Resources Directorate
Governance and Policy
Warwickshire Legal Services
Shire Hall, Warwick, CV34 4RL
DX 723362 Warwick 5

Pardip Sharma
Solicitor

Tel: 01926
Email: pardipsharma@warwickshire.gov.uk
www.warwickshire.gov.uk/wls

The Company Secretary
Coventry Turned Parts Ltd
Co Reg No, 00982178
3 Welton Road
Wedgenock Industrial Estate
Warwick
CV34 5PZ

20 August 2019

Dear Sirs

**RE: MASTERS HOUSE THE OLD LEPER HOSPITAL SALTISFORD WARWICK
URGENT WORKS NOTICE
SECTION 54 PLANNING (LISTED BUILDINGS AND CONSERVATION AREAS)
ACT 1990**

We represent Warwick District Council.

Further to the letter dated 30 July 2019 sent to you by Ms Lalli, Planning Enforcement Manager at Warwick District Council we note that no steps have been taken to carry out the works which the Council considered urgently necessary for the preservation of the above building. The condition of the building continues to be of considerable concern to the Council.

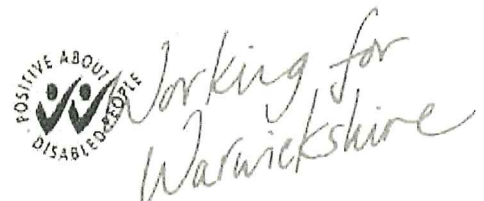
As we have not received written confirmation that the urgent works as set out in the aforementioned letter will be undertaken by you within a reasonable time, the Council now has no alternative but recourse to statutory proceedings. I now therefore enclose for your immediate consideration an Urgent Works Notice pursuant to the above Act. The Notice is self-explanatory and should you have any queries please do not hesitate to contact me.

Yours faithfully

PP
Pardip Sharma

Encl.

Lexcel
Practice Management Standard
Law Society Accredited



IMPORTANT - THIS COMMUNICATION AFFECTS YOUR PROPERTY
Planning (Listed Buildings and Conservation Areas) Act 1990, section 54

URGENT WORKS NOTICE IN RESPECT OF THE MASTER'S HOUSE, PART OF THE
LEPER HOSPITAL, SALTISFORD, WARWICK, CV34 4TT

WARWICK DISTRICT COUNCIL
RIVERSIDE HOUSE
MILVERTON
ROYAL LEAMINGTON SPA

URGENT WORKS NOTICE

WHEREAS:

To: Coventry Turned Parts Limited, 3 Welton Road, Wedgnock Industrial Estate,
Warwick

- 1 The building known as the Master's House, part of the Leper Hospital of Saint Michael, Saltisford, Warwick, CV34 4TT ('the Building') is a listed building under section 1(5) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (hereinafter known as 'the 1990 Act'). The Building is shown edged in red on the map attached to this Notice and described for identification purposes only in Schedule 1 of this Notice.
- 2 It appears to Warwick District Council ('The Local Authority') whose area includes the Building and being the Local Authority for the purposes of section 54 of the 1990 Act that the works specified within Schedule 2 of this Notice ('the Works') are urgently necessary for the preservation of the Building. The area that this Notice is subject to does not include any part of the ground beneath the Building. The ground beneath the Building is a Scheduled Ancient Monument (List Entry Number: 1011035) and the Grade II* Master's House is specifically excluded from this designation.
- 3 NOTICE IS HEREBY GIVEN that on expiration of 27th August 2019 the Local Authority intends to carry out the Works in accordance with section 54(1) of the 1990 Act.
- 4 You should be aware that the Local Authority is not obliged to give any further warning after issuing this Notice. It therefore considers the need for the Works has become so urgent that they must be carried out without any delay. You will not be given any further warning.
- 5 When the Local Authority has carried out the Works you will be sent a further Notice to indicate the expenses incurred by the Local Authority in doing so, and requiring you to reimburse it as provided in section 55 of the 1990 Act.

If you wish to discuss this Notice or any related matter you should contact Robert Dawson on robert.dawson@warwickdc.gov.uk or 01926 456546 as soon as possible.

DATED the 20th day of August 2019

Signed

A handwritten signature in black ink, appearing to read 'Gary Fisher', written in a cursive style.

Gary Fisher
Development Manager.

For and on behalf of
WARWICK DISTRICT COUNCIL
RIVERSIDE HOUSE
MILVERTON
ROYAL LEAMINGTON SPA

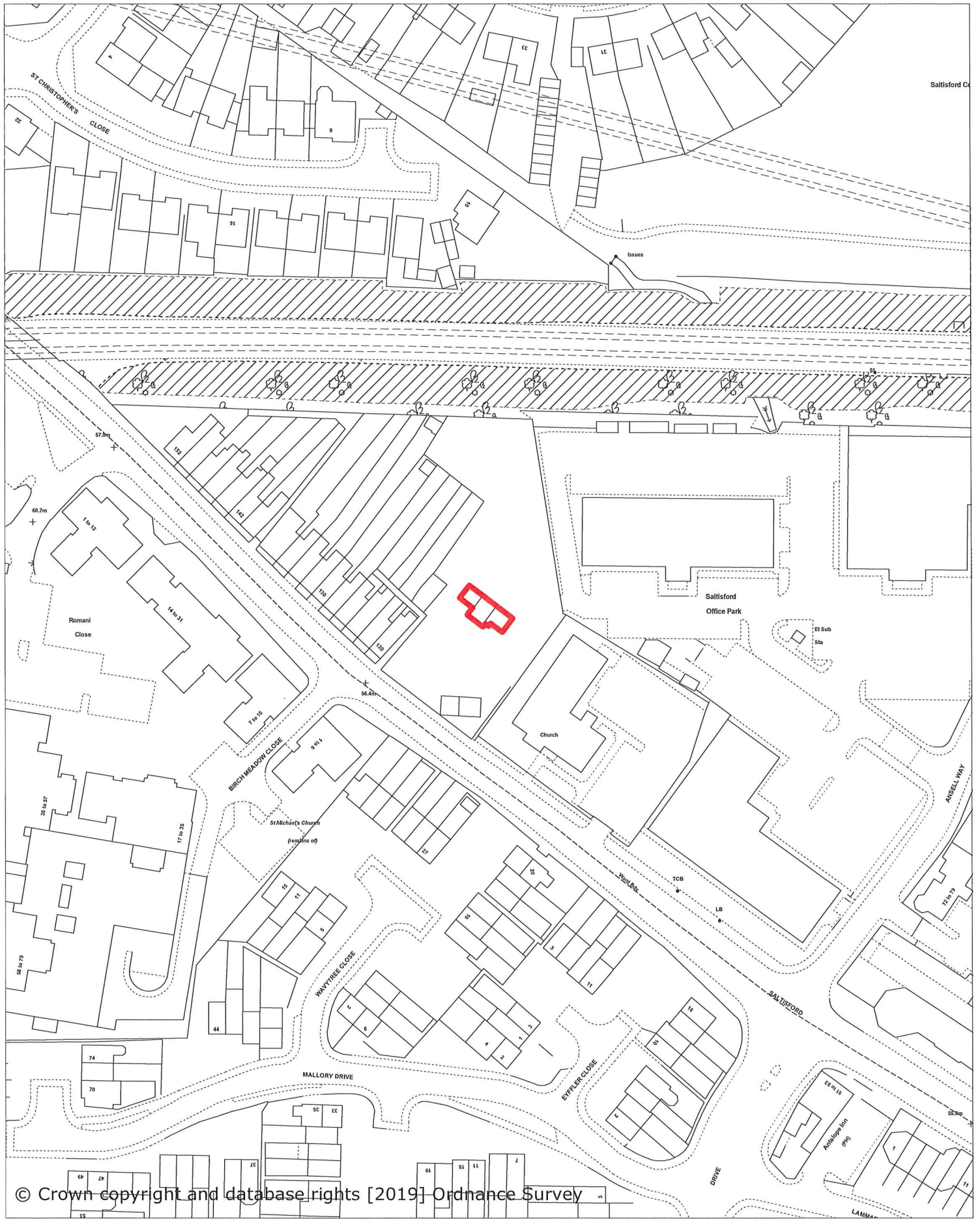
SCHEDULE 1

The building known as the Master's House, part of the old Leper Hospital, Saltisford, Warwick, CV34 4TT as shown for the purposes of identification only edged red on the attached plan but excluding the area of any part of the ground beneath the Building. (The ground beneath the Building is a Scheduled Ancient Monument (List Entry Number: 1011035) and the Grade II* Master's House is specifically excluded from this designation)

SCHEDULE 2

List of urgent works:

1. All the works as set out in points 3.1 to 3.7 under Conclusions and Recommendations of the Structural Assessment report dated 21st May 2019 prepared by J S Mason of (Structural Engineers) Ltd.
2. All the works set out more particularly in the Specification for Stabilisation Measures (Contract Number 16325) and Drawing Numbers 16325/03A and 16325/04A prepared by Steve Mason of HWA (Structural Engineers) Ltd of 64 Yoxall Road, Shirley, Solihull dated July 2019 and annexed to this Notice.



Title:

URGENT WORKS NOTICE

The Master's House, Saltisford Road, Warwick

LOCATION PLAN

Scale:
1:1250

Plan:
1

Drawn By:
SW

Date:
14 August 2019

File No.
ACT 122/19

North



64 YOXALL ROAD
SHIRLEY
SOLIHULL B90 3RP
TEL 0121 745 7600
E-MAIL engineers@h-w-a.co.uk
www.structuralengineersbirmingham.co.uk

HWA (Structural Engineers) Limited

Our Ref: JSM/jsm/R1632502
Date: 21st May 2019

Mr Andrew Jones
Deputy Chief Executive,
Warwick District Council
Riverside House
Milverton Hill
Royal Leamington Spa
CV32 5QH

Dear Mr Jones

**MASTERS HOUSE, SALTISFORD, WARWICK.
Structural Assessment.**

Thank you for the instruction for us to carry out a structural assessment of the above building and report thereon. Following the inspection on 9th May 2019 our report is as follows:-

1.0 INTRODUCTION

- 1.1 This grade II* half-timbered building dating back to the 15th century has until recently been cocooned in a tarpaulin which had precluded easy access. The tarpaulin had apparently been blown off by the wind.
- 1.2 It is in a rather poor condition and its condition has led to its becoming unstable. This inspection was intended to re-assess its current condition and recommend temporary measures to stabilize the building.
- 1.3 See attached drawing nos. 16325/03 and 16325/04 showing plan and sections.

2.0 OBSERVATIONS

2.1 General.

- 2.1.1 The main building comprises four post and truss cross frames forming three bays. On the south west elevation there is an extension on the central bay with a catslide roof.
- 2.1.2 The roof covering is plain clay tiles supported by battens, rafters and purlins and ridge trees.
- 2.1.3 There are two brick chimney structures one internally between Bays 1 and 2 and one in the external west corner of Bay 3. There is some floor structure remaining in Bays 1 and 3 but not in Bay 2.

2.2 Roof.

- 2.2.1 Although possibly up to 90% of the roof tiles remain many of them are insecure and likely to become detached easily.

2.2.2 The main roof timbers, purlins, ridge trees and collar timbers connecting the upper purlins together with many of the rafters appear to be still in a serviceable condition although some of the connections such as wall plate to truss posts are in a poor condition and there are poor purlin to purlin connections.

2.2.3 The truss timbers generally appear to remain serviceable but not all the associated posts.

2.3 **Walls.**

2.3.1 The walls are in a very mixed condition. The lower studs and sole plates are decayed in places and the lower sections of the frame posts are generally either in a poor condition or have no secure support.

2.3.2 The infill panels are very variable with many original panels missing on the external walls.

2.3.3 The south west wall of Bay 3 has buckled outwards as there is no lateral tie at mid height.

2.3.4 The stone and brick plinth upon which the timber framing appears to have been founded is either unstable or missing.

2.3.5 The end frames forming the north west and south east gables have been reinforced with OSB boarding and studding in order to try and prevent these frames racking over.

2.4 **Chimneys.**

2.4.1 The chimney between Bays 1 and 2 is in a very unstable condition. It has been propped up with Acrow props in many locations and is very frail.

2.4.2 The chimney in Bay3 is in a much better condition and currently appears stable.

2.5 **Suspended Floors.**

2.5.1 The remains of the floors in Bays 1 and 3 are currently supported on some props. Some of the beams appear serviceable but their end supports are unsound.

2.6 **Existing temporary works.**

2.6.1 In Bay 2 a central scaffold cage has been erected together with an elevated platform. This has been used to provide ad hoc propping to the more vulnerable fabric surrounding it including the internal chimney Bay 1/Bay 2. It also has some kentledge on its lower platform.

2.6.2 Internally there are several props supporting the suspended floors, lintels etc. Externally there are a number of raking props supporting the north east wall of bay 1 which has moved towards the north east.

3.0 **CONCLUSIONS and RECOMMENDATIONS.**

3.1 It is concluded from the observations above that although there are many parts of the building fabric that are unsound the two fundamental issues that need addressing are:-

- The lack of a stable structure at foundation level because of the condition of timbers at low level and the condition of the stone/brick plinth.
- The lateral movement of the building particularly in the Bay 1 area.

- 3.2 Clearly several attempts have been made to stabilize the building. However these have not followed a particular strategy and were mainly reactive. It is recommended that internal scaffolding is erected, probably limited to Bays 1 and 2, that will support the roof structure thus relieving load at lower levels and stabilize the building laterally. This scheme is attached embodied in drawings no. 16325/03 and 16325/04. External scaffolding was also considered but this could hamper the provision of the protective covering required.
- 3.3 This scheme will provide adequate vertical support for the roof structure and also provide lateral stability with the use of suitable kentledge. It has been assumed that ground anchors will not be permitted because of potential archaeological issues.
- 3.4 It is hoped that it will not be necessary to dismantle the existing scaffolding as it would be unwise to disturb the various props relying on it, particularly in relation to the brick chimney structure between Bays 1 and 2. The other props supporting the floor beams and lintels etc should remain in position.
- 3.5 Bay 3 is judged to be relatively stable laterally so scaffolding is not required but some form of stabilization of the buckled south west wall is required. A pair of steel soldiers from ground level up to the wall plate is recommended, secured to the mid height timber rails.
- 3.6 When all the above temporary works have been carried out consideration can be given to removing at least some of the external raking props to facilitate the re-weatherproofing of the building.
- 3.7 It is recommended that the protective tarpaulin or other suitable protection should be reinstated as soon as possible in order to limit any further damage to the building fabric from the weather.
- 3.8 Most of the building fabric remaining appears to be original and as such conserving it should be considered a priority. In order to bring this building back to a stable and weathertight state a full repair programme of the timber framing etc is required.

Please contact the writer if there are any queries regarding this report.

Yours sincerely

HWA (Structural Engineers) Ltd

A handwritten signature in black ink, appearing to read 'J S Mason', with a long horizontal line underneath.

J S Mason BSc CEng MICE

Enc. Drawings 16325/03 and 16325/04.



HWA (Structural Engineers) Ltd
CONSULTING CIVIL AND STRUCTURAL ENGINEERS

SOLIHULL

WEST MIDLANDS

Tel: 021 745 7600

email: engineers@h-w-a.co.uk

**Specification of Stabilisation Measures
for**

**The Master's House
Saltisford, Warwick CV34 4TT**

Contract No. 16325

1.0 INTRODUCTION

1.1 This building is Grade II* listed and is in an unstable condition and not protected from the weather. As well as the overall building stability there are many internal areas of localised instability such as:-

- Lintels below chimney.
- Chimney brickwork structure.
- Floor structures and stairs.
- Buckling of walling.

Many of these structures are currently propped and it is expected that these props remain in their current form unless they compromise the erection of the new scaffolding.

1.2 Although the roof timbers are generally in a fair condition the support for the roof is compromised by its supports down to foundation level and its weight alone is promoting lateral sway.

1.3 The purpose of this specification is to provide the following:-

- Additional vertical support for the roof structure.
- Internal structure to provide lateral support to the building as a whole.
- Strengthen part of the wall structure that has buckled.

1.4 The first two can be provided using an internal scaffolding structure together with kentledge. It is not permissible to use ground anchors in view of the possible archaeology below ground. The proposed scheme is shown on drawings 16325/03 A and 16325/04 A.

1.5 Internally there is already scaffolding and propping existing which had been erected to attempt to provide support for clearly unstable visible elements. It is expected that this scaffolding should remain substantially intact so as not to compromise its current support to these elements.

1.6 This specification does not cover any work that may be required to the roof tiling or the weatherproof covering that is required.

2.0 METHODOLOGY

2.1 **Bay 1.** Work should commence in this bay. The ground should be levelled carefully, tamped and timbers to support the scaffolding laid down. Existing first floor planks to be removed where necessary to permit erection of standards and bracing. The scaffolding can then be fully erected up to purlins and ridge tree and fork head reveals added with timber packers, all as shown on drawings. Fork heads to be screwed up to take up slack and then given a quarter turn to take load. Kentledge can then be loaded onto the lowest platform using concrete blocks or water butts. Kentledge required is 5400kg. Extended transoms to be fixed to wall plates both sides of the scaffolding.

2.2 **Bay 2.** Prepare ground as Bay 1 and lay down spreading timbers. The layout of the new scaffold is intended to avoid the existing scaffolding as much as possible but some minor modifications may be required. The scaffold boards will have to be removed in some cases

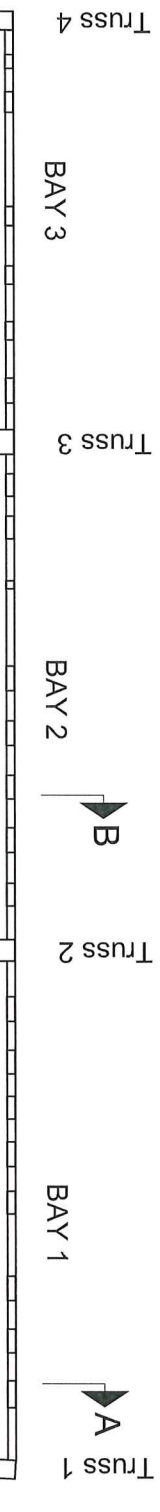
to erect the standards etc. The scaffolding can then be fully erected up to purlins and ridge tree and fork head reveals added with timber packers, all as shown on drawings. Fork heads to be screwed up to take up slack and then given a quarter turn to take load. Kentledge can then be loaded onto the lowest platform using concrete blocks. Kentledge required is 5400 kg. Extended transoms to be fixed to wall plates both sides of the scaffolding.

- 2.3 **Bay 3.** Scaffolding is not required in this area but the south west wall is buckled and requires strengthening with two vertical RMD super soldiers (or equivalent) extending from the stone wall at ground level up to the wall plate and tying the soldiers to the mid height timber with a ratchet strap.

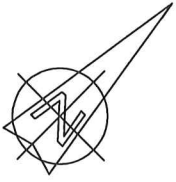
3.0 MATERIALS & WORKMANSHIP

- 3.1 The scaffolding is to follow the recommendations set down in BS EN 12811-1 and TG20.
- 3.2 Scaffold tubes are to be Type 4 "as new" tubing conforming to BS EN 39.
- 3.3 Scaffold fittings are to conform with BS EN 74. Load bearing couplings class A or class B can be used. All couplings to be load bearing except those used with tubes supporting boards only.
- 3.4 Wind loading has been taken as 0.59 kN/m².
- 3.5 The scaffolding should be fully braced in both directions as shown on the drawings.
- 3.6 Occasionally frame locations may require slight adjustment to avoid collar timbers.

**J S Mason
July 2019**



2 no. soldiers such as RMD super soldiers (or similar) from ground to wall plate secured to mid timber rull.



GENERAL PLAN 1:50

- NOTES:
1. All scaffolding to be designed & erected to BS EN12811-1 & TG20
 2. All couplers to be load bearing except tubes supporting boards only.
 3. All framing to be fully braced as shown.
 4. See Specification for further information.

HANCOCK WHEELDON + ASCOUGH
 Consulting Civil & Structural Engineers
 64 Yoxall Road, Shirley, Solihull, West Midlands. B90 3RP
 Tel 0121 745 7600 Fax 0121 244 8886 e-mail engineers@h-w-a.co.uk

Client:-
 Warwick District Council
 Riverside House
 Milverton Hill
 Royal Leamington Spa
 Warwickshire
 CV32 5QH

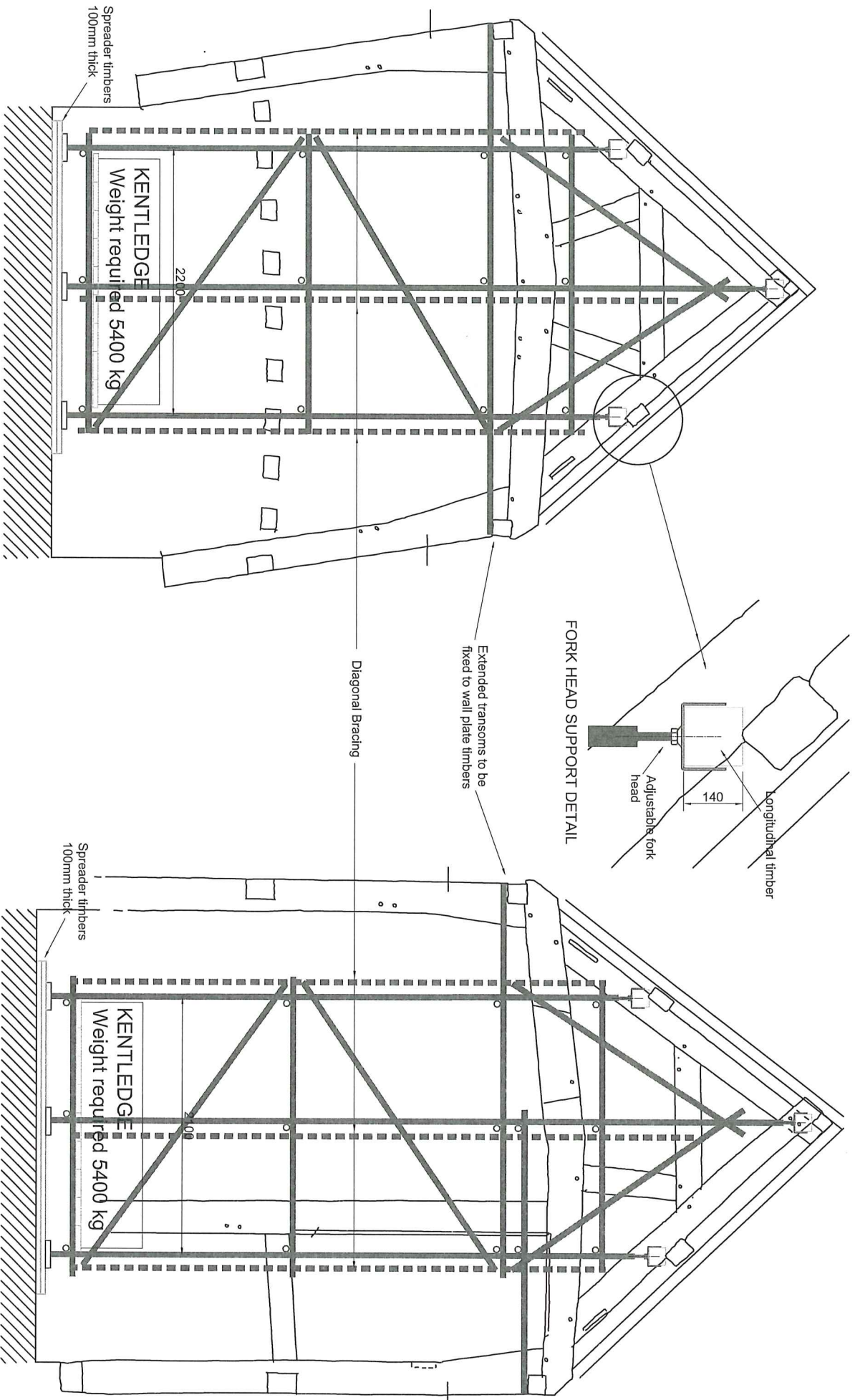
Project
 The Masters House
 Saltsford
 Warwick

Title
 Stabilisation Works
 Structural Details
 General Plan

Drawing No.
16325/03 A

Rev	Details	Date	Checked
A	General update	Jul 2019	

Scale	As shown @ A3	Date	May 2019
Drawn	jsm	Checked	jsm



SECTION A-A Scale 1:33 $\frac{1}{3}$

SECTION B-B Scale 1:33 $\frac{1}{3}$

HANCOCK WHEELDON + ASCOUGH Consulting Civil & Structural Engineers 64 Yoxall Road, Shirley, Solihull, West Midlands, B90 3RP Tel 0121 745 7600 Fax 0121 244 8866 e-mail engineers@h-w-a.co.uk		Client:- Warwick District Council Riverside House Millerton Hill Royal Leamington Spa Warwickshire CV32 5QH	Project The Masters House Saltisford Warwick	Title Stabilisation Works Structural Details Sections	Drawing No. 16325/04 A
Rev A	Details General update	Date Jul 2019	Checked []	Scale As shown @ A3 Date Drawn ism May 2019	Checked ism