

My ref: CG/cg/W45649

The Company Secretary
Coventry Turned Parts Limited
Co. Regn No. 00982178,
3 Welton Road,
Wedgenock Industrial Estate,
Warwick CV34 5PZ

By Registered Post

10 March 2020

Dear Sirs

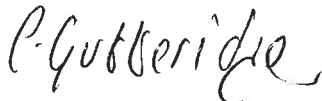
**RE: SECTION 55 NOTICE
MASTERS HOUSE THE OLD LEPER HOSPITAL SALTISFORD WARWICK**

Further to service of Notice under section 54 Planning (Listed Building and Conservation Area) Act 1990 ("the Act") we hereby serve Notice under section 55 of the Act requiring payment of the expenses of the works.

Please find enclosed:

- Section 55 Notice and Documents A to D and invoices detailed therein
- Location Plan
- Section 55 of the Planning (Listed Buildings and Conservation Areas) Act 1990

Yours faithfully



Caroline Gutteridge

cc: SM Legal Consulting, The Gatehouse, Leamington Road, Kenilworth CV8 2LP

Coventry Turned Parts Limited (0982178). Abbey House, Manor Road, Coventry
CV1 2FW



Resources Directorate
Governance and Policy
Warwickshire Legal Services
Shire Hall, Warwick, CV34 4RL
DX 723362 Warwick 5

Caroline Gutteridge
Senior Solicitor and Team Leader

Tel: 01926 413750
Email:
carolinegutteridge@warwickshire.gov.uk
www.warwickshire.gov.uk/wls



Planning (Listed Buildings and Conservation Areas) Act 1990, Section 55

Demand for Payment: This Notice requires your urgent attention


Warwick District Council, Riverside House, Milverton Hill, Royal Leamington Spa

- To:** Coventry Turned Parts Limited (Co. Regn. No. 00982178), 3 Welton Road, Wedgenock Industrial Estate, Warwick
- 1 The building known as The Master's House, part of the Leper Hospital of Saint Michael, Saltisford, Warwick, CV34 4TT ('the Building') is a listed building under section 1(5) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (hereinafter known as 'the 1990 Act'). The Building is shown edged in red on the Location Plan attached to this Notice and described for identification purposes only in Schedule 1 of this Notice.
 - 2 It appeared to Warwick District Council ('the Local Authority') whose area includes the Building and being the Local Authority for the purposes of section 54 of the 1990 Act that certain works were urgently necessary for the preservation of the Building.
 - 3 The Local Authority informed you by a section 54 (1) Notice dated 20th August 2019 that, unless by 27th August 2019 it was satisfied that the works were being carried out it would itself enter the land on which the Building stands and carry them out.
 - 4 No satisfactory response was received to that Notice. The Local Authority has therefore carried out the works itemised in Schedule 2 of this Notice ('the Works'). The expenses that have been incurred by it in carrying out the Works are as indicated in Schedule 2.
 - 5 The Local Authority has resolved to require you to reimburse the expense of carrying out the Works.
 - 6 You must therefore now pay the sum of **£67,607.30** to the Local Authority by **17th April 2020**. This may be done by the method specified in the Annex to this Notice.
 - 7 You may if you wish at any time before **17th April 2020** make representations to the Secretary of State:
 - a) that some or all of the Works were unnecessary for the preservation of the Building
 - b) that the amount being sought is unreasonable, or
 - c) that the recovery of that amount would cause you hardship.

- 8 The Secretary of State will then determine to what extent your representations are justified and will notify you of their decision, the reasons for it and the amount that he considers is reasonably recoverable. You will then be liable to pay that amount to the council.
- 9 The Secretary of State may be contacted at: Culture Team, Heritage Protection Branch, 4th Floor, Department of Culture Media & Sport, 100 Parliament Street, London SW1A 2BQ
- 10 If you wish to discuss this Notice or any related matter you should contact Robert Dawson, Principal Conservation Officer, at Robert.dawson@warwickdc.gov.uk or 01926 456546 as soon as possible.

DATED the 10th day of March 2020

Signed: David Barber, Head of Development Services



For and on behalf of
WARWICK DISTRICT COUNCIL
RIVERSIDE HOUSE
MILVERTON HILL
ROYAL LEAMINGTON SPA

SCHEDULE 1

The Building known as the Master's House, part of the old Leper Hospital, Saltisford, Warwick, CV34 4TT as shown for the purposes of identification only edged red on the attached Location Plan but excluding the area of any part of the ground beneath the Building. (The ground beneath the Building is a Scheduled Ancient Monument (List Entry Number: 1011035) and the Grade II* Master's House is specifically excluded from this designation).

SCHEDULE 2

Description of works carried out and costs:

1. Carrying out structural assessment by HWA (Structural Engineers) Ltd on 9/5/2019 and compilation of report dated 21/5/2019 (Document A)

Costs incurred: (invoice no. 101429 dated 31/05/2019): **£1400.00**

2. Providing specification for Urgent Works Notice by HWA (Structural Engineers) Ltd (drawing numbers 16325/03A and 16325/04A) (Document B).

Costs incurred (invoice no. SI-101540 dated 29/07/2019): **£390.00**

3. Providing specification for Protection and Access Scaffolding by HWA (Structural Engineers) Ltd (drawing numbers 16325/06 (General Plan), 16325/06, 16325/07, 16325/08) (Document C)

Costs incurred (invoice no. SI-101803 dated 12/12/2019): **£1250.00**

4. Carrying out all the works set out in the Specification for Stabilisation Measures (Contract Number 16325) and Drawing Numbers 16325/03A and 16325/04A by Croft Building & Conservation Ltd between 28/08/2019 and 01/10/2019) (Document D).

Costs incurred (invoice no. SI-101803 dated 01/10/2019): **£18,658.15**

5. Carrying out all the works set out in the Specification for Protection and Access Scaffolding Costs (drawing numbers 16325/06 (General Plan), 16325/06, 16325/07, 16325/08) carried out by Croft Building & Conservation Ltd between 09/12/2019 and 27/01/2020 (Document C).

Costs incurred (invoice no. 5091 from Croft Building & Conservation Ltd. dated 07/02/2020): **£45,909.15**

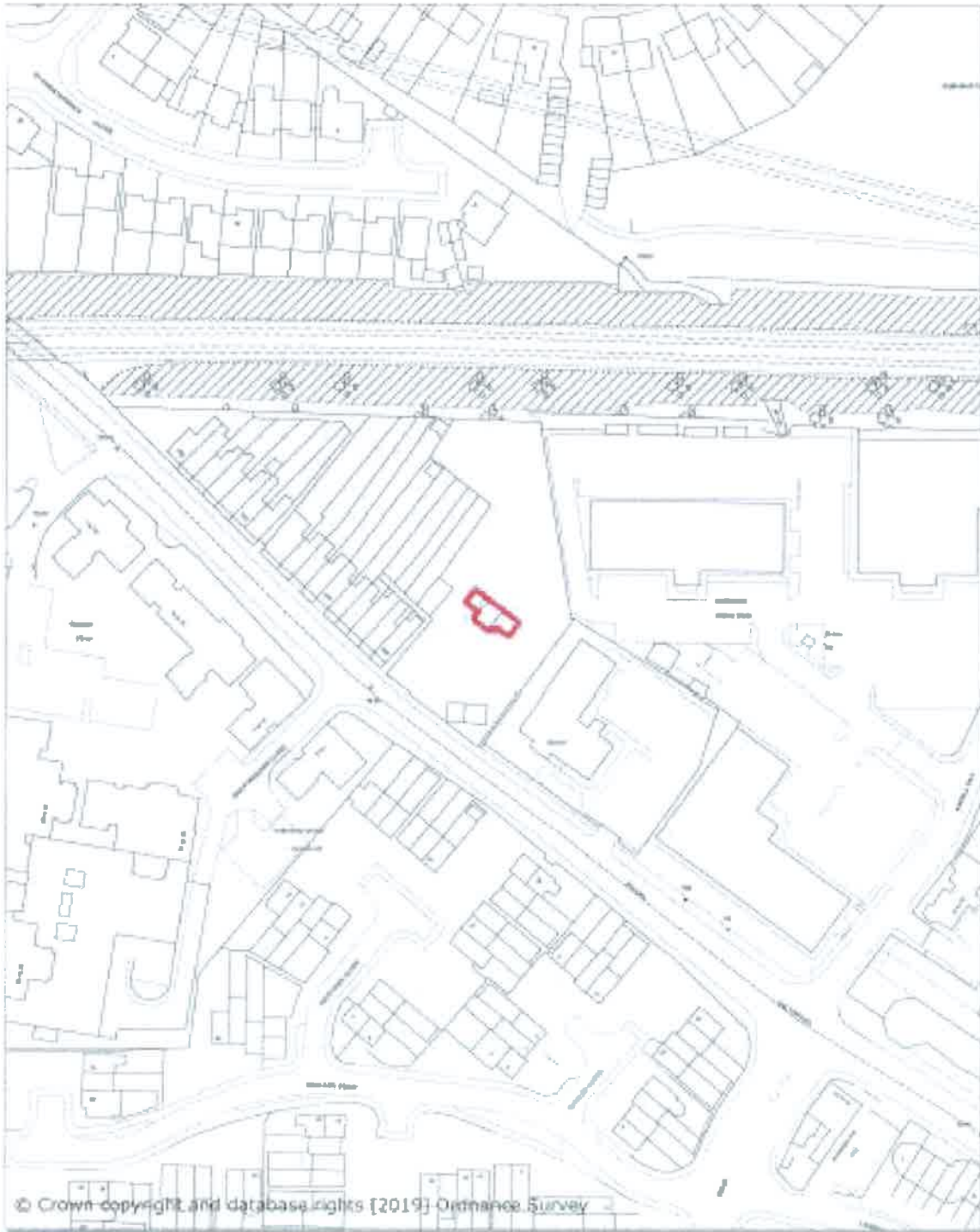
Total cost: £67,607.30

Annex 1

Method of Payment:

Payment should be made to:

HSBC, 126 The Parade, Leamington Spa, CV32 4AJ
Sort code: 40-27-06
Account number: 71023381 (WDC Suspense Account).



Title:

URGENT WORKS NOTICE

The Master's House, Saltisford Road, Warwick

LOCATION PLAN

Scale:
1:1250

Plan:
1

Drawn By:
SW

Date:
14 August 2019

File No.
ACT 122/19

North 

Development Services: Riverside House, Millverton Hill, Royal Leamington Spa. CV32 5QH



64 YOXALL ROAD
SHIRLEY
SOLIHULL B90 3RP
TEL 0121 745 7600
E-MAIL engineers@h-w-a.co.uk
www.structuralengineersbirmingham.co.uk

HWA (Structural Engineers) Limited

Our Ref: JSM/jsm/R1632502
Date: 21st May 2019

Mr Andrew Jones
Deputy Chief Executive,
Warwick District Council
Riverside House
Milverton Hill
Royal Leamington Spa
CV32 5QH

Dear Mr Jones

**MASTERS HOUSE, SALTISFORD, WARWICK.
Structural Assessment.**

Thank you for the instruction for us to carry out a structural assessment of the above building and report thereon. Following the inspection on 9th May 2019 our report is as follows:-

1.0 INTRODUCTION

- 1.1 This grade II* half-timbered building dating back to the 15th century has until recently been cocooned in a tarpaulin which had precluded easy access. The tarpaulin had apparently been blown off by the wind.
- 1.2 It is in a rather poor condition and its condition has led to its becoming unstable. This inspection was intended to re-assess its current condition and recommend temporary measures to stabilize the building.
- 1.3 See attached drawing nos. 16325/03 and 16325/04 showing plan and sections.

2.0 OBSERVATIONS

2.1 General.

- 2.1.1 The main building comprises four post and truss cross frames forming three bays. On the south west elevation there is an extension on the central bay with a catslide roof.
- 2.1.2 The roof covering is plain clay tiles supported by battens, rafters and purlins and ridge trees.
- 2.1.3 There are two brick chimney structures one internally between Bays 1 and 2 and one in the external west corner of Bay 3. There is some floor structure remaining in Bays 1 and 3 but not in Bay 2.

2.2 Roof.

- 2.2.1 Although possibly up to 90% of the roof tiles remain many of them are insecure and likely to become detached easily.

2.2.2 The main roof timbers, purlins, ridge trees and collar timbers connecting the upper purlins together with many of the rafters appear to be still in a serviceable condition although some of the connections such as wall plate to truss posts are in a poor condition and there are poor purlin to purlin connections.

2.2.3 The truss timbers generally appear to remain serviceable but not all the associated posts.

2.3 **Walls.**

2.3.1 The walls are in a very mixed condition. The lower studs and sole plates are decayed in places and the lower sections of the frame posts are generally either in a poor condition or have no secure support.

2.3.2 The infill panels are very variable with many original panels missing on the external walls.

2.3.3 The south west wall of Bay 3 has buckled outwards as there is no lateral tie at mid height.

2.3.4 The stone and brick plinth upon which the timber framing appears to have been founded is either unstable or missing.

2.3.5 The end frames forming the north west and south east gables have been reinforced with OSB boarding and studding in order to try and prevent these frames racking over.

2.4 **Chimneys.**

2.4.1 The chimney between Bays 1 and 2 is in a very unstable condition. It has been propped up with Acrow props in many locations and is very frail.

2.4.2 The chimney in Bay3 is in a much better condition and currently appears stable.

2.5 **Suspended Floors.**

2.5.1 The remains of the floors in Bays 1 and 3 are currently supported on some props. Some of the beams appear serviceable but their end supports are unsound.

2.6 **Existing temporary works.**

2.6.1 In Bay 2 a central scaffold cage has been erected together with an elevated platform. This has been used to provide ad hoc propping to the more vulnerable fabric surrounding it including the internal chimney Bay 1/Bay 2. It also has some kentledge on its lower platform.

2.6.2 Internally there are several props supporting the suspended floors, lintels etc. Externally there are a number of raking props supporting the north east wall of bay 1 which has moved towards the north east.

3.0 **CONCLUSIONS and RECOMMENDATIONS.**

3.1 It is concluded from the observations above that although there are many parts of the building fabric that are unsound the two fundamental issues that need addressing are:-

- The lack of a stable structure at foundation level because of the condition of timbers at low level and the condition of the stone/brick plinth.
- The lateral movement of the building particularly in the Bay 1 area.

- 3.2 Clearly several attempts have been made to stabilize the building. However these have not followed a particular strategy and were mainly reactive. It is recommended that internal scaffolding is erected, probably limited to Bays 1 and 2, that will support the roof structure thus relieving load at lower levels and stabilize the building laterally. This scheme is attached embodied in drawings no. 16325/03 and 16325/04. External scaffolding was also considered but this could hamper the provision of the protective covering required.
- 3.3 This scheme will provide adequate vertical support for the roof structure and also provide lateral stability with the use of suitable kentledge. It has been assumed that ground anchors will not be permitted because of potential archaeological issues.
- 3.4 It is hoped that it will not be necessary to dismantle the existing scaffolding as it would be unwise to disturb the various props relying on it, particularly in relation to the brick chimney structure between Bays 1 and 2. The other props supporting the floor beams and lintels etc should remain in position.
- 3.5 Bay 3 is judged to be relatively stable laterally so scaffolding is not required but some form of stabilization of the buckled south west wall is required. A pair of steel soldiers from ground level up to the wall plate is recommended, secured to the mid height timber rails.
- 3.6 When all the above temporary works have been carried out consideration can be given to removing at least some of the external raking props to facilitate the re-weatherproofing of the building.
- 3.7 It is recommended that the protective tarpaulin or other suitable protection should be reinstated as soon as possible in order to limit any further damage to the building fabric from the weather.
- 3.8 Most of the building fabric remaining appears to be original and as such conserving it should be considered a priority. In order to bring this building back to a stable and weathertight state a full repair programme of the timber framing etc is required.

Please contact the writer if there are any queries regarding this report.

Yours sincerely
HWA (Structural Engineers) Ltd

A handwritten signature in black ink, appearing to read 'J S Mason', with a horizontal line underneath.

J S Mason BSc CEng MICE

Enc. Drawings 16325/03 and 16325/04.

HWA (Structural Engineers) Ltd

64 Yoxall Road, Shirley

Solihull, West Midlands, B90 3RP

Tel: 0121 745 7600

Email: engineers@h-w-a.co.uk, WWW: www.h-w-a.co.uk

SALES INVOICE

INVOICE TO:

Warwick District Council
Andrew Jones - Deputy Chief Executive
Riverside House
Millverton Hill
Royal Leamington Spa
CV32 5QH

Your Reference : 16325

Customer Code : W-MISC

Tax Point Date : 31/05/2019

Our Reference : 201429

Description : St Michaels Place

Invoice No : 101429

Description	Net Amount
Contract Number 16325 St Michaels Place, Saltisford, Master House To carrying out structural assessment and reporting thereon. Agreed lump sum Your Purchase Order Number 105419	1,400.00
Payment Details You can make payments directly to our bank account Sort code: 20-77-62 Account number: 23219305 Account Name: HWA (Structural Engineers) Limited Please quote reference: W-MISC	

VAT Rate	Description	Net Amt	VAT Amt
1 20.00%	VAT Standard Rate	1,400.00	280.00

SUB TOTAL £ 1,400.00

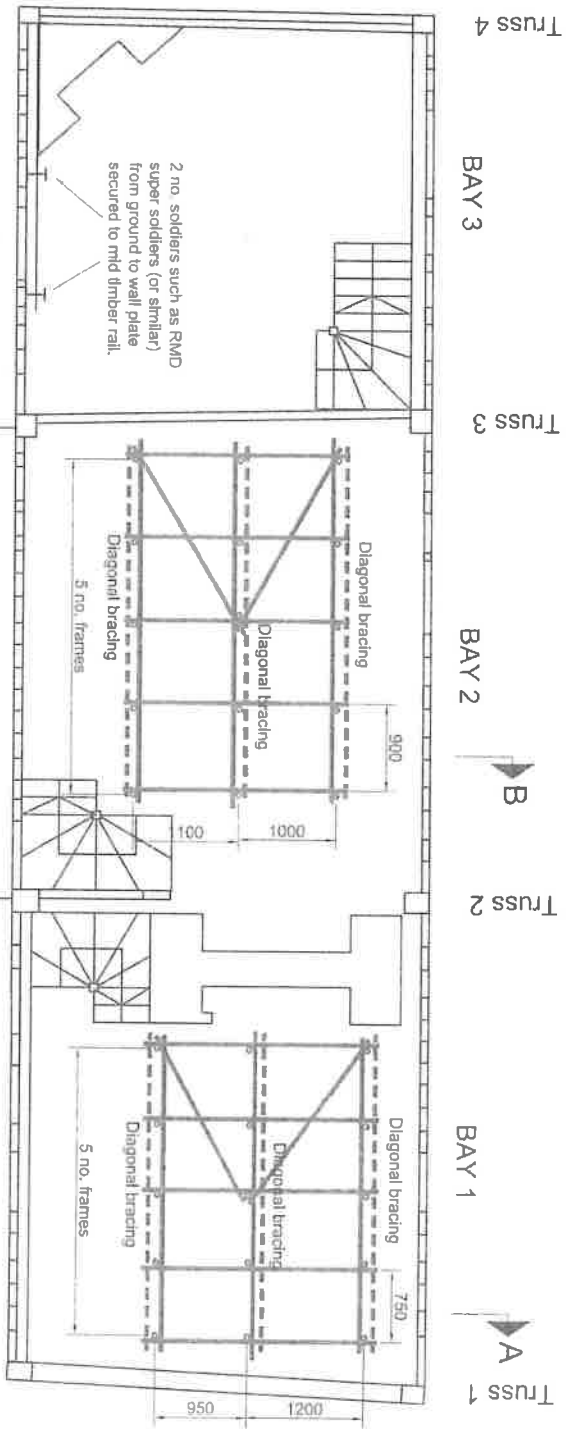
VAT TOTAL £ 280.00

INVOICE TOTAL £ 1,680.00

VAT Registration No GB -696103915

Produced by FirstBooks

Document B

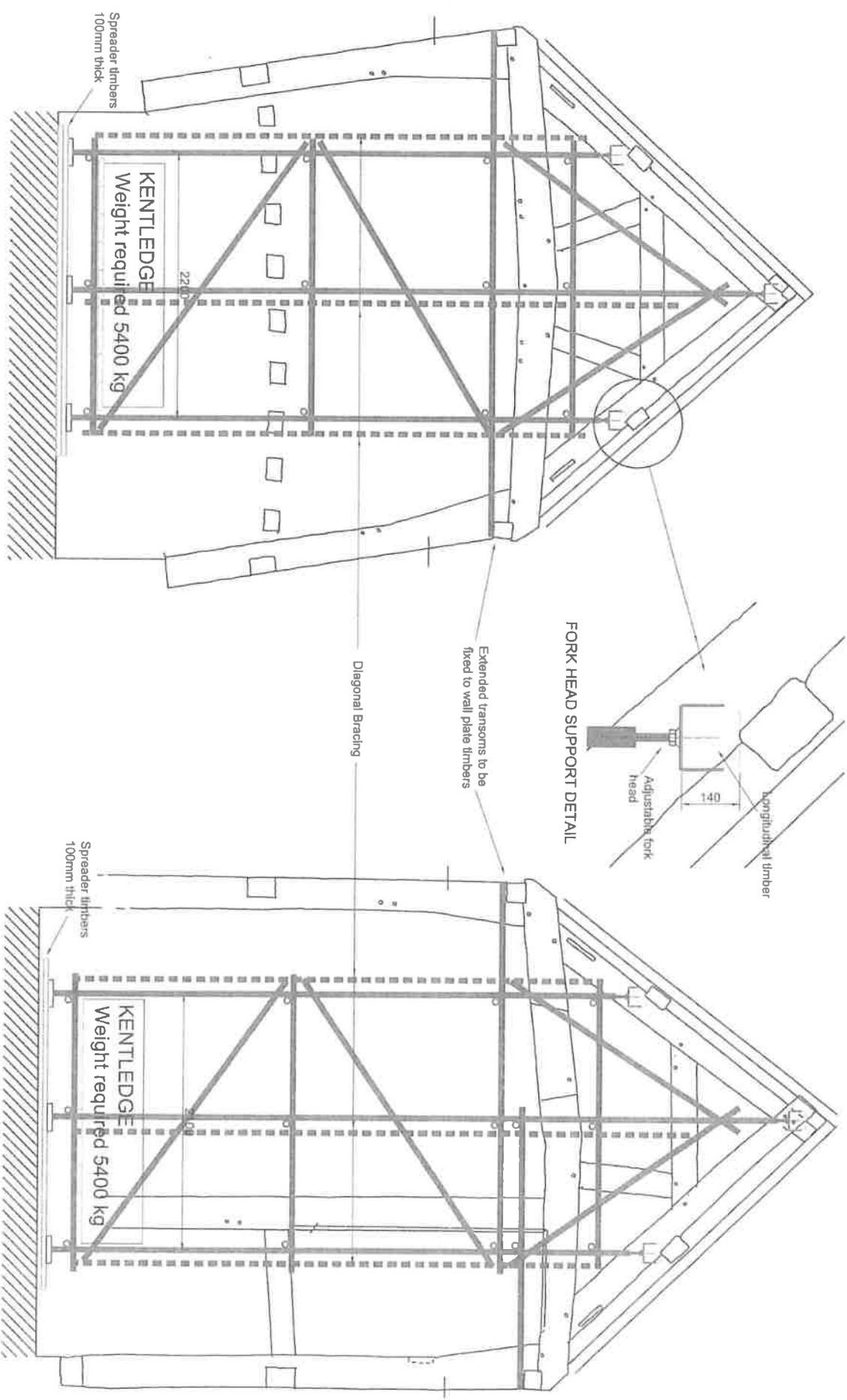


- NOTES:
1. All scaffolding to be designed & erected to BS EN12811-1 & TG20
 2. All couplers to be load bearing except tubes supporting boards only.
 3. All framing to be fully braced as shown.
 4. See Specification for further information.

GENERAL PLAN 1:50



HANCOCK WHEELDON + ASCOUGH Consulting Civil & Structural Engineers 64 Yoxall Road, Shirely, Solihull, West Midlands, B90 3RP Tel: 0121 745 7600 Fax: 0121 244 9886 e-mail: engineers@h-w-a.co.uk		Client:- Warwick District Council Riverside House Milverton Hill Royal Leamington Spa Warwickshire CV32 5QH		Project The Masters House Saltisford Warwick		Title Stabilisation Works Structural Details General Plan	
Rev	A	Descs	General update	Drawn	HTM	Checked	HTM
Date	Jul 2019			Scale	As shown @ A3	Date	May 2019
Drawing No.	16325/03 A		Drawn	HTM	Checked	HTM	



SECTION A-A Scale 1:33 $\frac{1}{3}$

SECTION B-B Scale 1:33 $\frac{1}{3}$

HANCOCK WHEELDON + ASCOUGH
 Consulting Civil & Structural Engineers
 64 Yoxall Road, Shirley, Solihull, West Midlands, B90 3RP
 Tel 0121 745 7800 Fax 0121 244 8888 e-mail engineers@h-w-a.co.uk

Client:-
 Warwick District Council
 Riverside House
 Millverton Hill
 Royal Leamington Spa
 Warwickshire
 CV32 5DH

Project
**The Masters House
 Saltsford
 Warwick**

Title
**Stabilisation Works
 Structural Details
 Sections**

Drawing No.
16325/04 A

Scale As shown @ A3 Date May 2019
 Drawn jsm Checked jsm

Rev	Date	Description	Drawn	Checked
A	Jul 2019	General update	jsm	jsm



HWA (Structural Engineers) Ltd

64 Yoxall Road, Shirley
Sollihull, West Midlands, B90 3RP
United Kingdom

Telephone 0121 745 7600 Email Engineers@h-w-a.co.uk

VAT Registration Number
GB 696103915

Invoice To
W-Misc
Warwick District Council
Riverside House
Milverton Hill
Royal Leamington Spa
CV32 5QH

Customer W-Misc (W-Misc)

Reference 16325

Invoice Number SI-101540

Invoice Date 29/07/2019

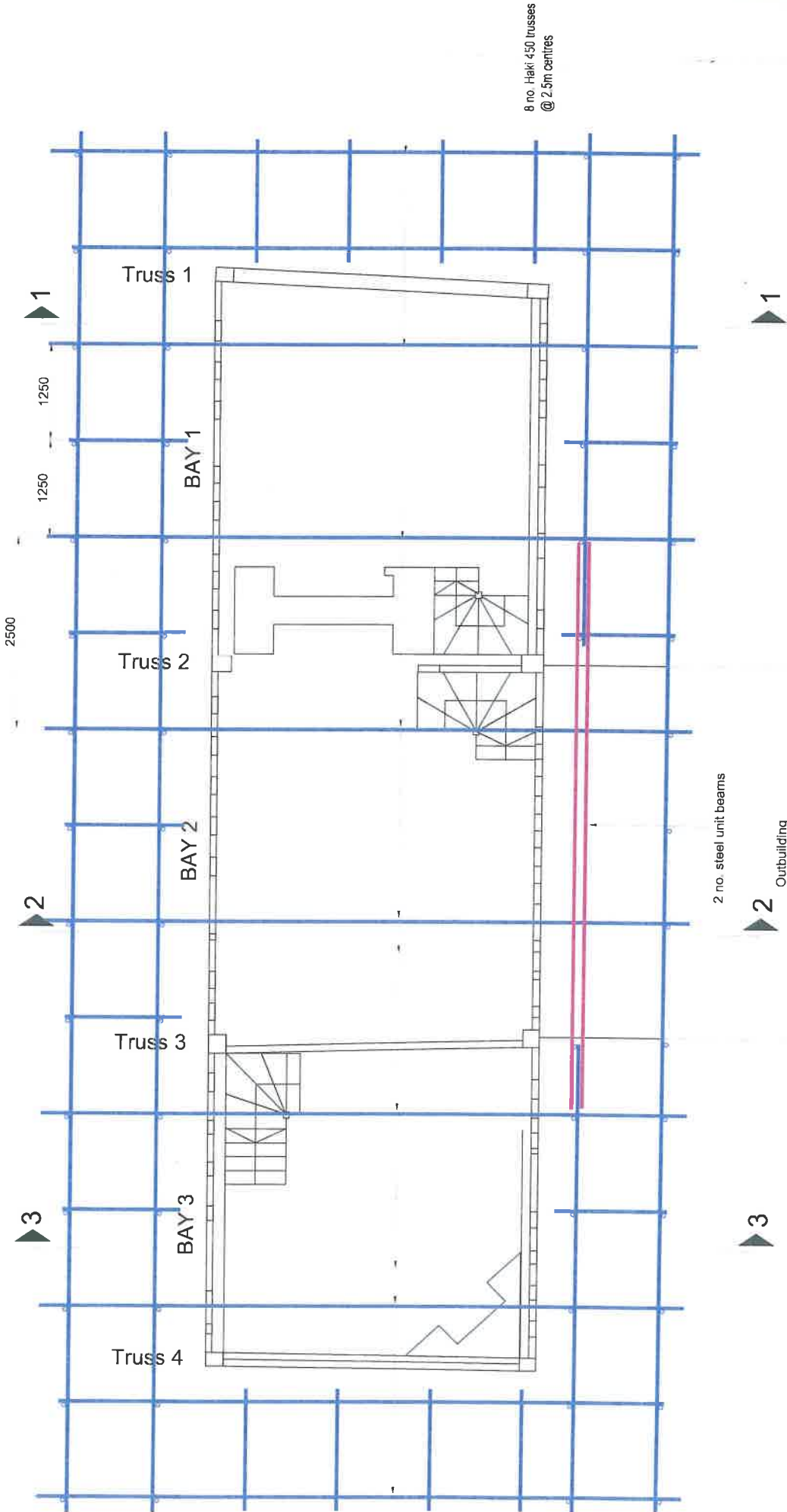
Due Date 28/08/2019

Description	Net Amt	% VAT	VAT	Total
Contract no. 16325 St Michaels Place, Salfisford, Master House To: Providing specification for Urgent Works Notice (Sect. 54) Agreed lump sum:	390.00	20.00	78.00	468.00
VAT Rate	Net	VAT	Net Amount	390.00
Standard 20.00% (20.00%)	£390.00	£78.00	VAT Amount	78.00
			Total	£468.00

Notes

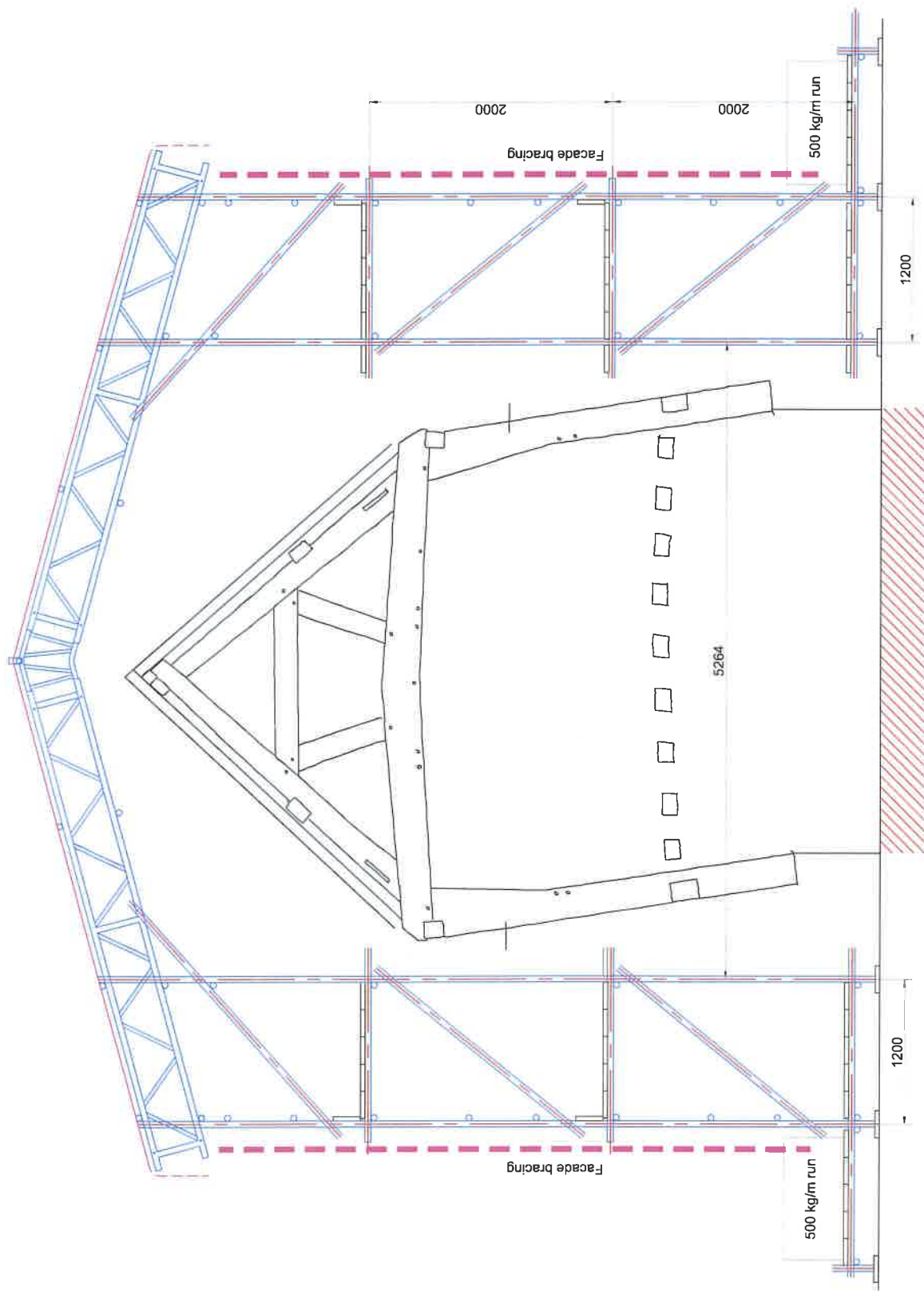
Payments can be made using the following methods :-

- 1 Bank Transfer :-
****Account Name - HWA (Structural Engineers) Ltd
****Sort Code - 20-77-62
****Account Number - 23219305
- 2 Credit or Debit Card over the telephone
- 3 Cash
- 4 Cheque



GENERAL PLAN BOTH FOR ACCESS AND NON ACCESS OPTIONS 1:50

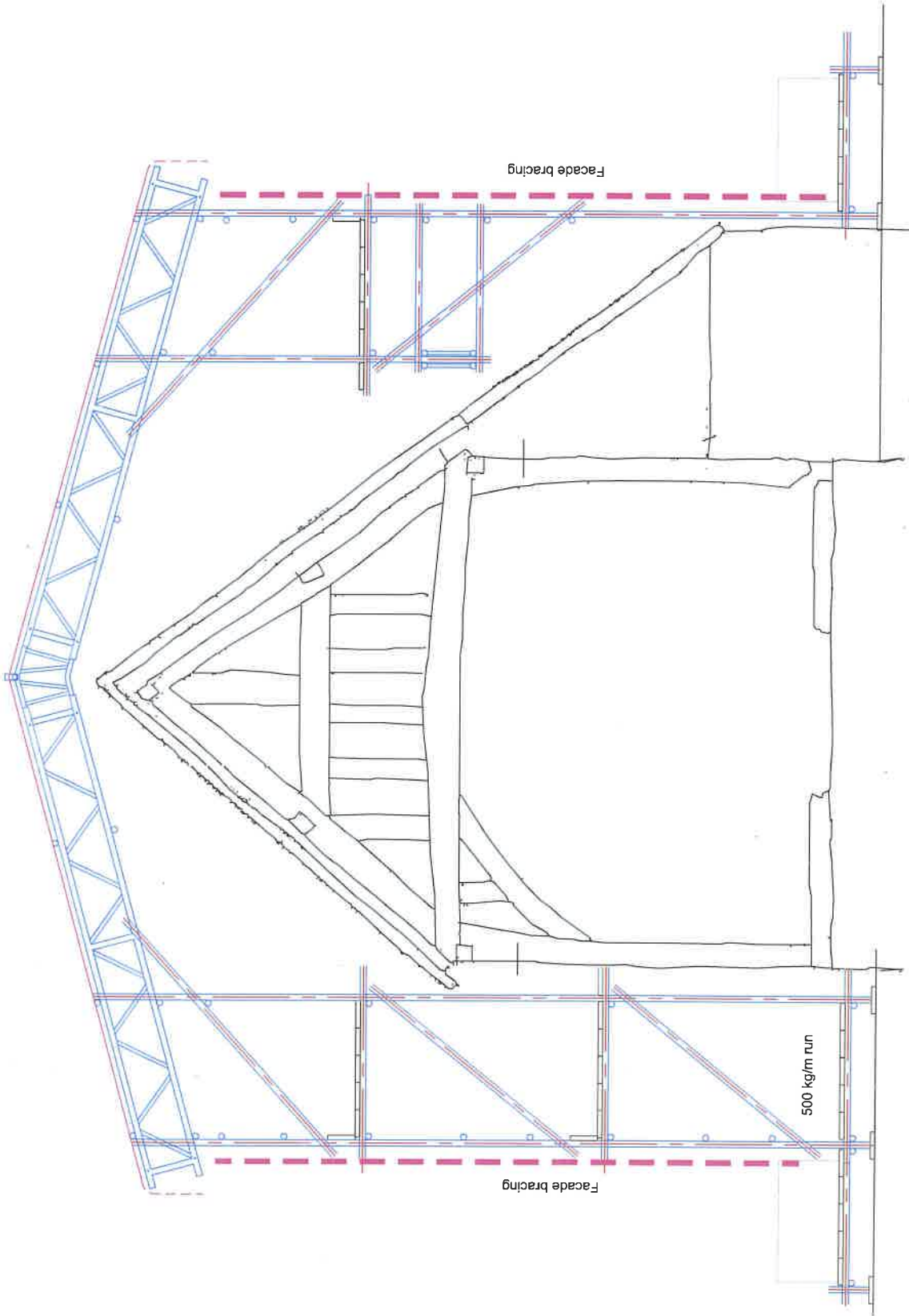
HANCOCK WHEELDON + ASCOUGH Consulting Civil & Structural Engineers 64 Yoxall Road, Shirley, Solihull, West Midlands. B90 3RP Tel: 0121 745 7600 Fax: 0121 244 8886 e-mail: engineers@h-w-a.co.uk	Client:- Warwick District Council Riverside House Milverton Hill Royal Leamington Spa Warwickshire CV32 5QH	Project The Masters House Saltisford Warwick	Title External scaffolding Structural Details General Plan	Drawing No. 16325/06	Date Checked
	Scale As shown @ A3 Date Oct 2019	Drawn JSM Checked JSM	Castile		



SECTION 1 - with access 1:33 $\frac{1}{3}$

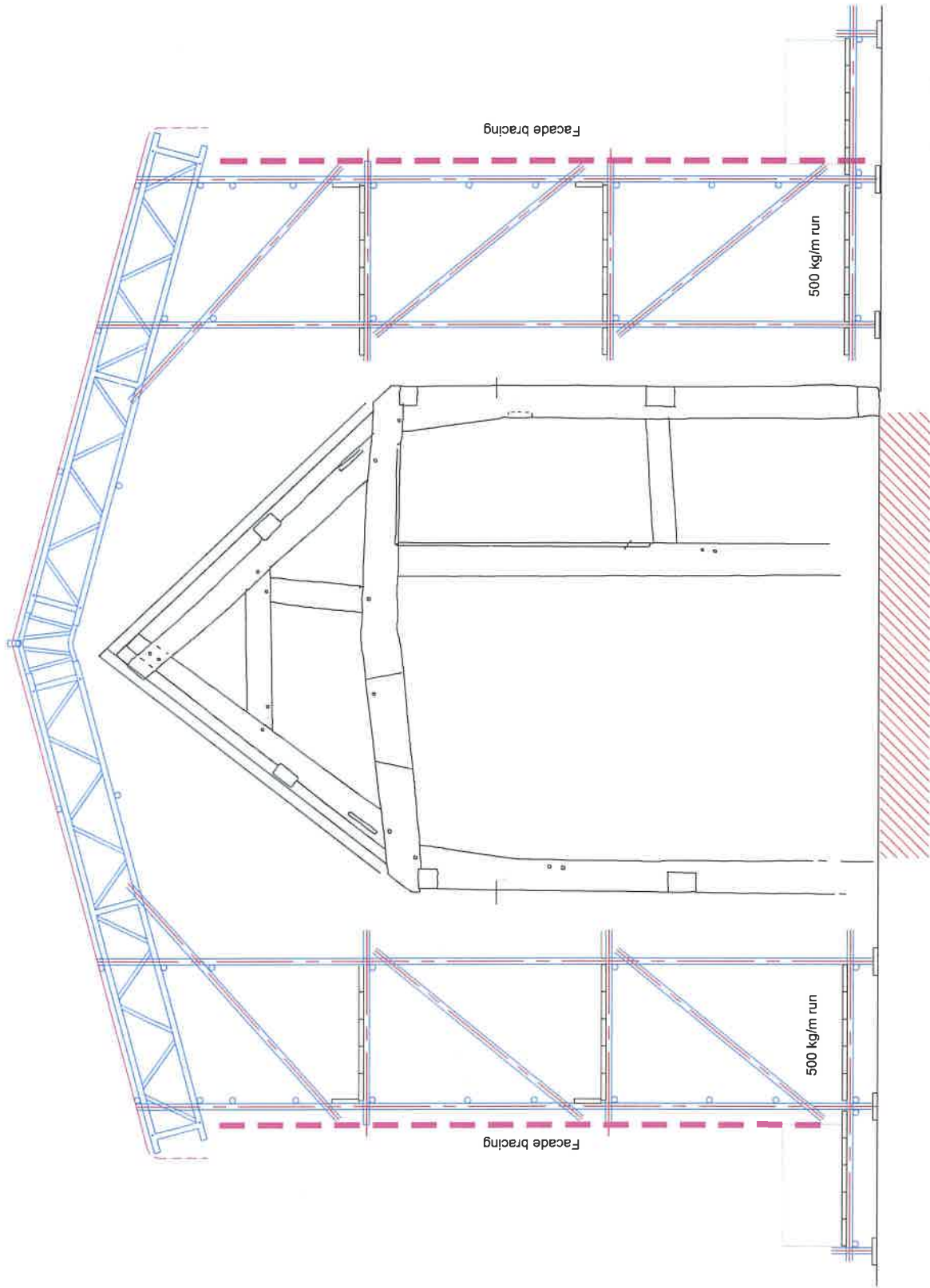
<p>HANCOCK WHEELDON + ASCOUGH Consulting Civil & Structural Engineers 64 Yoxall Road, Shirley, Solihull, West Midlands. B90 3RP Tel 0121 745 7600 Fax 0121 244 8886 e-mail engineers@h-w-a.co.uk</p>	<p>Client:- Warwick District Council Riverside House Milverton Hill Royal Leamington Spa Warwickshire CV32 5QH</p>	<p>Project The Masters House Saltisford Warwick</p>	<p>Title External scaffolding Structural Details Sections - sheet 1</p>	<p>Drawing No. 16325/06</p>	<p>Checked</p>
					<p>Scale As shown @ A3 Date Oct 2019</p>
<p>Drawn jsm</p>					<p>Date</p>
<p>Checked jsm</p>					<p>Details</p>
<p>Rev</p>					<p>Checked</p>

Casfile



SECTION 2 - with access 1:33 $\frac{1}{3}$

<p>HANCOCK WHEELDON + ASCOUGH Consulting Civil & Structural Engineers 64 Yoxall Road, Shirley, Solihull, West Midlands, B90 3RP Tel 0121 745 7600 Fax 0121 244 8886 e-mail engineers@h-w-a.co.uk</p>	<p>Client:- Warwick District Council Riverside House Milve-ton Hill Roya Leamington Spa Warwickshire CV32 5QH</p>	<p>Project The Masters House Saltisford Warwick</p>	<p>Title External scaffolding Structural Details Sections - sheet 2</p>	<p>Drawing No. 16325/07</p> <p>Scale As shown @ A3 Date Oct 2019 Drawn jsm Checked jsm</p>
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SECTION 3 - with access 1:33 $\frac{1}{3}$

HANCOCK WHEELDON + ASCOUGH Consulting Civil & Structural Engineers 64 Yoxall Road, Shirley, Solihull, West Midlands, B90 3RP Tel: 0121 745 7600 Fax: 0121 244 8886 e-mail: engineers@h-w-a.co.uk	Client:- Warwick District Council Riverside House Milverton Hill Royal Leamington Spa Warwickshire CV32 5QH	Project The Masters House Saltisford Warwick	Title External scaffolding Structural Details Sections - sheet 3	Drawing No. 16325/08	Checked
					Date
				Scale As shown @ A3	Date Oct 2019
				Drawn jsm	Checked jsm

Casfile



HWA (Structural Engineers) Ltd

64 Yoxall Road, Shirley
Solihull, West Midlands, B90 3RP
United Kingdom

Telephone 0121 745 7600 Email Engineers@h-w-a.co.uk

VAT Registration Number
GB 696103915

Invoice To
W-Misc
Warwick District Council Development Services
PO Box 2178 - Riverside House
Milverton Hill
Leamington Spa
CV32 5QH

Customer W-Misc (W-Misc)

Reference 16325

Invoice Number SI-301803

Invoice Date 12/12/2019

Due Date 11/01/2020

Description	Net Amt	% VAT	VAT	Total
Contract no. 16325 St Michaels Place, Saltisford, Masters House To: Specifying protection scaffolding Order no. 107661 Agreed sum:	1,250.00	20.00	250.00	1,500.00

VAT Rate	Net	VAT	Net Amount	
Standard 20.00% (20.00%)	£1,250.00	£250.00	1,250.00	
			VAT Amount	250.00
			Total	£1,500.00
			Amount Paid	£1,500.00
			Amount Due	£0.00

Notes

Payments can be made using the following methods :-

- 1 Bank Transfer :-
***Account Name - HWA (Structural Engineers) Ltd
***Sort Code - 20-77-82
***Account Number - 23219305
- 2 Credit or Debit Card over the telephone
- 3 Cash
- 4 Cheque



HWA (Structural Engineers) Ltd
CONSULTING CIVIL AND STRUCTURAL ENGINEERS

SOLIHULL

WEST MIDLANDS

Tel: 021 745 7600

email: engineers@h-w-a.co.uk

**Specification of Stabilisation Measures
for**

**The Master's House
Saltisford, Warwick CV34 4TT**

Contract No. 16325

1.0 INTRODUCTION

1.1 This building is Grade II* listed and is in an unstable condition and not protected from the weather. As well as the overall building stability there are many internal areas of localised instability such as:-

- Lintels below chimney.
- Chimney brickwork structure.
- Floor structures and stairs.
- Buckling of walling.

Many of these structures are currently propped and it is expected that these props remain in their current form unless they compromise the erection of the new scaffolding.

1.2 Although the roof timbers are generally in a fair condition the support for the roof is compromised by its supports down to foundation level and its weight alone is promoting lateral sway.

1.3 The purpose of this specification is to provide the following:-

- Additional vertical support for the roof structure.
- Internal structure to provide lateral support to the building as a whole.
- Strengthen part of the wall structure that has buckled.

1.4 The first two can be provided using an internal scaffolding structure together with kentledge. It is not permissible to use ground anchors in view of the possible archaeology below ground. The proposed scheme is shown on drawings 16325/03 A and 16325/04 A.

1.5 Internally there is already scaffolding and propping existing which had been erected to attempt to provide support for clearly unstable visible elements. It is expected that this scaffolding should remain substantially intact so as not to compromise its current support to these elements.

1.6 This specification does not cover any work that may be required to the roof tiling or the weatherproof covering that is required.

2.0 METHODOLOGY

2.1 **Bay 1.** Work should commence in this bay. The ground should be levelled carefully, tamped and timbers to support the scaffolding laid down. Existing first floor planks to be removed where necessary to permit erection of standards and bracing. The scaffolding can then be fully erected up to purlins and ridge tree and fork head reveals added with timber packers, all as shown on drawings. Fork heads to be screwed up to take up slack and then given a quarter turn to take load. Kentledge can then be loaded onto the lowest platform using concrete blocks or water butts. Kentledge required is 5400kg. Extended transoms to be fixed to wall plates both sides of the scaffolding.

2.2 **Bay 2.** Prepare ground as Bay 1 and lay down spreading timbers. The layout of the new scaffold is intended to avoid the existing scaffolding as much as possible but some minor modifications may be required. The scaffold boards will have to be removed in some cases

to erect the standards etc. The scaffolding can then be fully erected up to purlins and ridge tree and fork head reveals added with timber packers, all as shown on drawings. Fork heads to be screwed up to take up slack and then given a quarter turn to take load. Kentledge can then be loaded onto the lowest platform using concrete blocks. Kentledge required is 5400 kg. Extended transoms to be fixed to wall plates both sides of the scaffolding.

- 2.3 **Bay 3.** Scaffolding is not required in this area but the south west wall is buckled and requires strengthening with two vertical RMD super soldiers (or equivalent) extending from the stone wall at ground level up to the wall plate and tying the soldiers to the mid height timber with a ratchet strap.

3.0 MATERIALS & WORKMANSHIP

- 3.1 The scaffolding is to follow the recommendations set down in BS EN 12811-1 and TG20.
- 3.2 Scaffold tubes are to be Type 4 "as new" tubing conforming to BS EN 39.
- 3.3 Scaffold fittings are to conform with BS EN 74. Load bearing couplings class A or class B can be used. All couplings to be load bearing except those used with tubes supporting boards only.
- 3.4 Wind loading has been taken as 0.59 kN/m².
- 3.5 The scaffolding should be fully braced in both directions as shown on the drawings.
- 3.6 Occasionally frame locations may require slight adjustment to avoid collar timbers.

J S Mason
July 2019



BUILDING &
CONSERVATION LTD

{1261}

SPECIALISTS IN THE REPAIR OF HISTORIC BUILDINGS

Warwick District Council
Riverside House
Milverton Hill
Leamington Spa
CV32 4HZ

INVOICE No. 4945

Invoice Date 01/10/2019

Invoice

Description	Value
Re: Masters House, Warwick	
<u>Valuation No. 1</u>	
Gross Amount of Valuation	£18,658.15
Net Amount of Valuation	£18,658.15
Sub total	£18,658.15
Less previous payments	£0.00
Payment due	£18,658.15
Bank Details	
Cheques made payable to Croft Building & Conservation Ltd	
Payment transfers to Bank of Scotland	
Sort code : 12-24-82	
Account No: 06045474	
	Total
	£18,658.15
	20.00% VAT
	£3,731.63
Payment Terms - 14 days	Amount Due
	£22,389.78

Unit 7, Hemlock Park, Hyslop Close, Cannock, Staffordshire WS11 7FB, Tel: 01543 509156. Fax: 01543 509157
www.croftbc.co.uk email: office@croftbc.co.uk

Registered in England No. 402001
030 500 0000



BUILDING &
CONSERVATION LTD

SPECIALISTS IN THE REPAIR OF HISTORIC BUILDINGS

(1261)

Warwick District Council
Corporate Support Team -DEV
Riverside House
Milverton Hill
Royal Leamington Spa.
CV32 4HZ

INVOICE No. **5091**

Invoice Date **07/02/2020**

Invoice

Description	Value
Re: Masters House, Warwick Purchase Order Number 108230	
<u>External Scaffolding</u>	
Gross Amount of Valuation	£45,909.15
Net Amount of Valuation	£45,909.15
Payment due	£45,909.15
Payment received with thanks 14/02/2020 - M. Jones	
Bank Details Cheques made payable to Croft Building & Conservation Ltd Payment transfers to Bank of Scotland Sort code : 12-24-82 Account No: 06045474	
	Total £45,909.15
	20.00% VAT £9,181.83
	Amount Due £55,090.98

Payment Terms - as per contract

Unit 7, Hemlock Park, Hyslop Close, Cannock, Staffordshire WS11 7FB Tel: 01543 509156, Fax: 01543 509157
www.croftbc.co.uk email: office@croftbc.co.uk

Registered in
VAT No: 1055596

Planning (Listed Buildings and Conservation Areas) Act 1990 c. 9

s. 55 Recovery of expenses of works under s. 54.



Law In Force

Version 3 of 3

4 May 2017 - Present

Subjects

Planning

Keywords

Expenses; Listed buildings; Local authorities; Local authorities' powers and duties; Ministers' powers and duties; Notices; Payments; Repairs

55.— Recovery of expenses of works under s. 54.

(1) This section has effect for enabling the expenses of works executed under section 54 to be recovered by the authority who carried out the works, that is to say the local authority, the Commission or the Secretary of State or, in the case of works carried out by the Commission on behalf of the Secretary of State, the Secretary of State.

(2) That authority may give notice to the owner of the building requiring him to pay the expenses of the works.

(3) Where the works consist of or include works for affording temporary support or shelter for the building—

(a) the expenses which may be recovered include any continuing expenses involved in making available the apparatus or materials used; and

(b) notices under subsection (2) in respect of any such continuing expenses may be given from time to time.

(4) The owner may within 28 days of the service of the notice represent to the Secretary of State—

(a) that some or all of the works were unnecessary for the preservation of the building; or

(b) in the case of works for affording temporary support or shelter, that the temporary arrangements have continued for an unreasonable length of time; or

(c) that the amount specified in the notice is unreasonable; or

(d) that the recovery of that amount would cause him hardship,

and the Secretary of State shall determine to what extent the representations are justified.

(5) The Secretary of State shall give notice of his determination, the reasons for it and the amount recoverable—

(a) to the owner of the building; and

(b) if the authority who gave notice under subsection (2) is a local authority or the Commission, to them.

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(5A) Where the Welsh Ministers make a determination under subsection (4), the owner of the building or (if it is given notice under subsection (5)) the local authority may, within 28 days of the service of the notice under subsection (5), appeal to the county court against the decision.

(5B) In the case of a building in Wales, as from the time when the notice under subsection (2) becomes operative, the expenses which an authority may recover under this section carry interest at such rate as the Welsh Ministers may prescribe by order until recovery of all sums due under this section; and the expenses and any interest are recoverable by the authority as a debt.

(5C) As from that time, the expenses and any interest are, until recovery, a charge on the land on which the building stands.

(5D) The charge takes effect at that time as a legal charge which is a local land charge.

(5E) For the purpose of enforcing the charge, the authority have the same powers and remedies under the Law of Property Act 1925 and otherwise as if they were a mortgagee by deed having powers of sale and lease, of accepting surrenders of leases and of appointing a receiver.

(5F) The power of appointing a receiver is exercisable at any time after the end of the period of one month beginning with the date on which the charge takes effect.

(5G) For the purposes of subsections (5B) to (5F), the notice becomes operative—

(a) where no representations are made under subsection (4) within the period referred to in that subsection, at the end of that period;

(b) where representations are made as mentioned in paragraph (a) but no appeal against the determination under subsection (4) is made under subsection (5A) within the period referred to in that subsection, at the end of that period;

(c) where an appeal is made as mentioned in paragraph (b) and the decision on the appeal confirms the determination under subsection (4) (with or without variation), at the time of the decision;

(d) where an appeal is made as mentioned in paragraph (b) but is withdrawn, at the time of the withdrawal.

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Notes

- 1 Added by Historic Environment (Wales) Act 2016 anaw. 4 Pt 3 s.30(6) (May 4, 2017: insertion has effect subject to transitional provisions specified in SI 2017/633 art.6(4))
- 2 Repealed by Planning and Compensation Act 1991 c. 34 Sch.19(I) para.1 (January 2, 1992 as SI 1991/2905 subject to transitional provisions)

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